

HASTINGS PLANNING COMMISSION A G E N D A

Monday May 4, 2026

1. **Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
2. **Pledge of Allegiance**
3. **Approval / additions / deletions to agenda**
4. **Approval of Minutes** April 6, 2026, Draft Meeting Minutes of the Planning Commission Regular Meeting. *
5. **Informative Items:** None
6. **Public Hearings:**
 - A. Public hearing to review and consider modification and final amended site plan review for North Ridge Estates Condominium Planned Unit Development. *
 - B. Public hearing to review and consider site plan and special use for Corewell Health – Pennock Hospital at 901 W. Green Street for the construction of on-site green space and community garden. *
7. **New Business:**
 - A. Consider scheduling a public hearing for the June 1, 2026, meeting to review and consider site plan and special use permit for a foster care group home for seven or more adults at 1505 N. Church Street. *
8. **Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2026 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
9. **Open Public Discussion and Comments**
10. **Staff Comments**
11. **Commissioner Comments**
12. **Adjourn**

*Indicates attachment

CITY OF HASTINGS
PLANNING COMMISSION MEETING MINUTES
April 6, 2026

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: David Hatfield, Nichole Lyke, Bill Mattson, Sarah Moyer-Cale, and David Tossava.
Absent: Levi Bolthouse, Scott Darling, Jacquie McLean, and Tom Wiswell. Student member Meredith Ansorge was also absent.

Call to Order

Also present: Planning Consultant Rebecca Harvey

It was MOVED by Mattson and SECONDED by Tossava to approve the agenda as amended by removing the hearing for a special land use at 134 E. Court Street. All members present voting yes; motion carried.

Approval of the Agenda

It was MOVED by Mattson and SECONDED by Lyke to approve the March, 2, 2026 meeting minutes as presented. All members present voting yes; motion carried.

Approval of the Minutes

None.

Information

None.

Public Hearing:

The Commission reviewed and discussed the proposed food truck park.

New Business:
Food Truck Park
760 W. State St.

It was MOVED by Tossava and SECONDED by Mattson to conditionally approve the Food Truck Park as presented to be open from 4:00 pm until 8:00 pm on Fridays from May 1 – October 31, with the following contingencies:

1. Zoning Administrator to contact and resolve concerns with pedestrian safety and merchandise display related to the Family Farm and Home store.
2. Written verification from the property owner that the site is approved for food trucks.

The Planning Commission reviewed the PUD plan and no significant comments were made. It was MOVED by Tossava and SECONDED by Lyke to schedule a public hearing for the May 4, 2026 regular meeting. All members present voting yes; motion carried.

Preliminary PUD
plan review –
North Ridge
Estates

It was MOVED by Mattson and SECONDED by Lyke to accept and recommend approval of the 2026 CIP to the City Council as presented. All members present voting yes; motion carried.

2026 CIP

Motion by Mattson and SECONDED by Lyke to allow the public hearing for the special land use proposal at 134 E. Court Street to be scheduled administratively once all required items are ready. All members present voting yes; motion carried.

Old Business
134 E. Court St

JPA/JPC Update

The JPA will meet later in April. The JPC has not met recently, but will review the site plan for the new Meijer store at the May or June meeting.

The work task list was noted as received.

The tracker was noted as received. It was requested that an explanation of the rankings be presented to the commission at the next meeting.

None.

None.

None.

It was MOVED by Tossava and SECONDED by Lyke to adjourn the meeting. All members present voting yes; motion carried. The meeting was adjourned at 7:26 p.m.

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

Work Task List

Tracking Terms
and Conditions

Public Comment

Staff Comments

**Commission
Comments**

Adjournment

City of Hastings

NOTICE OF PUBLIC HEARING NORTH RIDGE ESTATES CONDOMINIUMS PLANNED UNIT DEVELOPMENT MODIFICATION AND FINAL SITE PLAN APPROVAL

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning North Ridge Estates Condominiums Planned Unit Development Modification and final amended site plan approval for property located at 1700 N. Jefferson Street Block parcel #08-55-155-000-00. The Planning Commission will review and consider final amended site plan approval for the development and construction of eighteen (18) two (2) unit attached residential site condominiums. The original site plan approval included three (3) four-unit, eight (8) three-unit and one (1) two-(2) unit attached residential site condominium. The public hearing will be held at 7:00 PM on Monday May 4, 2026, in the City Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.



A copy of the proposed site plan and map are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 East State Street, Hastings, Michigan 49058. Questions or comments can be directed to Dan King, Community Development Director, at 269.945.2468 or dking@hastingsmi.gov.

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Linda Perin
City Clerk

Please publish in the April 16, 2026, edition of the Hastings Banner.

Received by _____ on _____ as
representative of the Hastings Banner.

Received by _____ on _____ as representative
of the Hastings Banner.



MCKENNA

April 6, 2026

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

Subject: North Ridge Estates Condominiums PUD
[Newly named Thornapple Meadows
Condominiums]

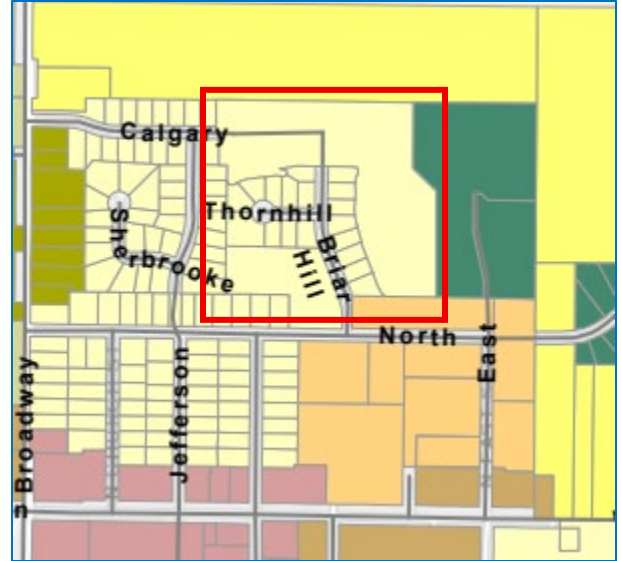
Location: West Calgary Drive/Briar Hill Drive

[Parcel #55-155-000-00]

Zoning: North Ridge Estates Condominiums PUD

Request: Amendment of the Previously
Approved North Ridge Estates
Condominiums PUD

Zoning Map



- R-1 One Family Residential District
- PUD Planned Unit Development District

Application Overview

- The North Ridge Estates PUD Final Development Plan was approved in 2025. The development was approved to include the following elements:
 - 12 buildings with attached single-family dwellings (3 4-unit buildings; 8 3-unit buildings; 1 2-unit building – total 38 dwelling units) on northern 8.5 acres
 - Public roads: extension/connection of Calgary Drive and Briar Hill Drive
 - Sidewalks along both sides Calgary Drive/Briar Hill Drive, per City standards
 - Public sanitary sewer and water service
 - Existing stormwater drainage feature (southern 5.5 acres)
 - Open space – 0.94 acres (11.74% of 8.5-acre development site)

- Applicant proposes the following modifications to the previously approved PUD:
 - New development name
 - Construction of 18 2-unit buildings with attached single-family dwellings (total 36 dwelling units) on northern 8.5 acres
 - Reduced open space – 0.85 acres (10% of 8.5-acre development area)
 - Modified landscape plan
- The remaining elements of the previously approved PUD Final Development Plan are not proposed for modification.
- Per Section 90-674 – *Modification of a PUD*, the proposed modification of the previously approved PUD is subject to the Preliminary Plan and Final Development Plan review requirements for a PUD established by Article VII.

Article VII – Planned Unit Development – *Preliminary Plan Review*

Sec 90-662 – PUD Authorization – compliance noted

Sec 90-663 – Qualifying Conditions – compliance noted

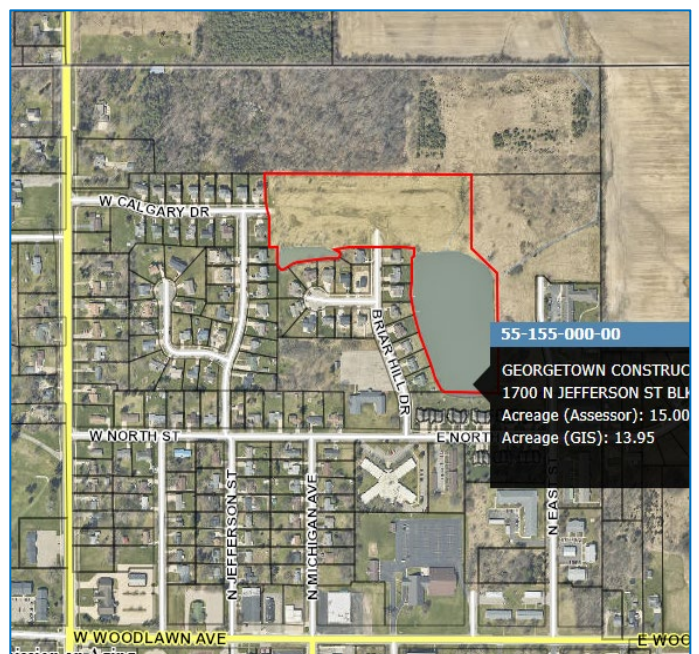
Sec 90-664 – Development Requirements

Density – *compliance noted*

- Permitted maximum density - 6 d.u./acre (6 x 8.5 acres = 51 units)
- Proposed density - 4.2 d.u./acre (36 d.u./8.5 acres)

Open Space – *compliance noted*

- Open Space: 0.85 acres (10%) required; 0.85 acres (10%) proposed



Sec 90-665 – Applicable Regulations

- The 2025 PUD approval was conditioned upon the following development requirements:
 1. Setbacks will conform to R-2 Single Family Residential District standards. – *compliance noted*
 2. Unit sizes will range from 1,100 to 2,000 square feet. – *compliance noted*
 3. Building width will range from 68 feet to 136 feet. – *compliance noted*
 4. Calgary Drive will be extended from the west and Briar Hill Drive will be extended from the south and will be subject to city public road construction standards. Sidewalks will be constructed on both sides of the Calgary and Briar Hill public road extensions subject to city sidewalk construction standards. – *compliance noted*
 5. The stormwater management plan and utility system (sewer/water) proposal shall be subject to City review/approval, per the approval of the Planning Commission on December 1, 2025. – *no changes proposed*
 6. The location, description, use/occupancy and maintenance provisions for all general and limited common elements shall be provided in the master deed for the project and shall be subject to City review/approval. – **compliance cannot be confirmed**
 7. The development will adhere to the 10% Open Space minimum requirement. – **the proposed open space has been reduced from 0.94 acres (11.74%) to 0.85 acres (10%) and consists entirely of drainage basins**
- The Landscape Plan has been modified to reflect the reduced open space area and compliance with the Front Yard Landscaping Requirements (Sec 90-1101). – **required shrub plantings have not been indicated**

Sec 90-666 – PUD Design Considerations

The amended Preliminary Plan continues to positively respond to the 12 specific design considerations set forth in this Section. The following design elements of the proposal are noteworthy:

- The extension of Calgary Drive/Briar Hill Drive as public roads is proposed to serve the 36-unit residential site condominium development.
- Public infrastructure (sewer/water) is proposed to serve the 36-unit residential site condominium development.



- Stormwater management is proposed to utilize the existing stormwater pond/area adjacent to the south.
- Sidewalks are proposed to be provided per City standards.
- Streetlights are proposed to be provided along Calgary Drive.

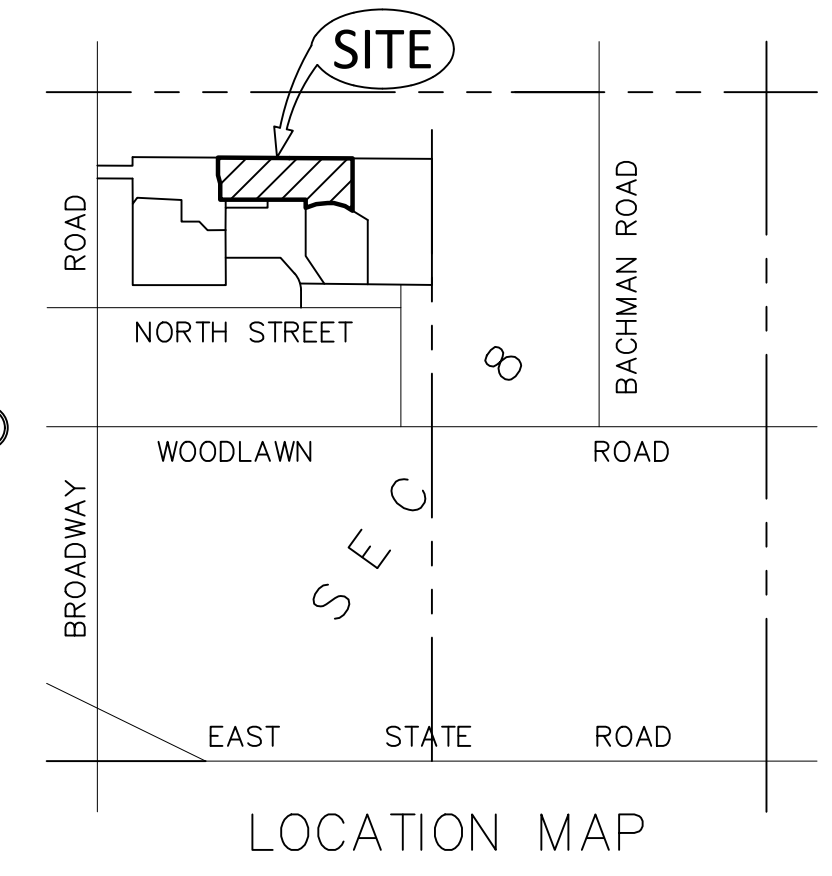
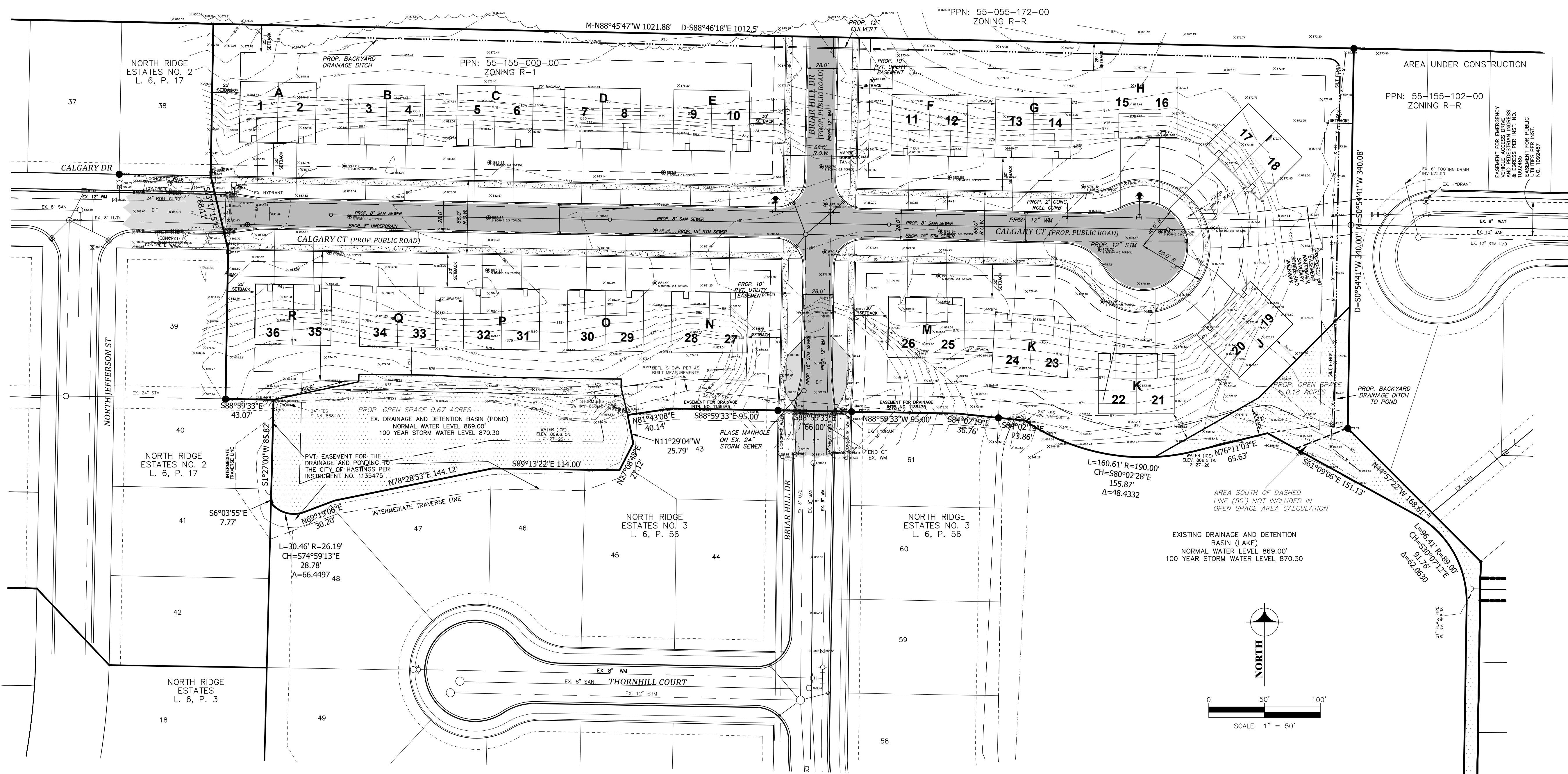
Sec 90-667 – Application Procedure

- The amended Preliminary Plan meets the content requirements of this section.

Summary of Findings

- The proposed modifications require an amendment of the PUD approval granted in 2025.
- An amendment of the PUD approval requires compliance with the preliminary plan and final plan review process.
- The amended Preliminary Plan:
 - Meets Preliminary Plan content requirements.
 - Demonstrates compliance with PUD Qualifying Conditions (Sec 90-663) and Development Requirements (Sec 90-664).
 - Is largely in compliance with the 2025 conditions of PUD approval but requires review/discussion of the open space and landscape proposals.

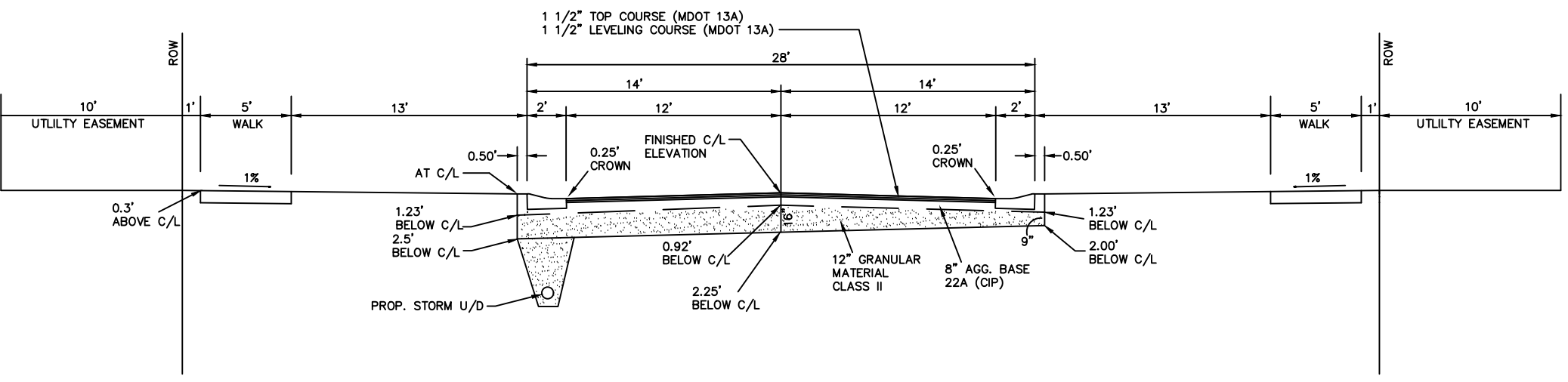




DESCRIPTION TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 25-4381-RS-1 DATED AUGUST 20, 2025 AT 08:00 AM.

THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE CITY OF HASTINGS, COUNTY OF BARRY AND STATE OF MICHIGAN, TO-WIT: COMMENCING AT THE NORTH 1/4 POST OF SECTION 8, TOWN 3 NORTH, RANGE 8 WEST, THENCE SOUTH 0 DEGREES 54' 41" WEST 1509.27 FEET; THENCE NORTH 88 DEGREES 30' WEST 514 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 30' WEST 434.25 FEET; THENCE 53.93 FEET ON A LEFT CURVE WITH A RADIUS OF 354.46 FEET, CHORD BEARING NORTH 17 DEGREES 38' 29" WEST 53.88 FEET; THENCE NORTH 22 DEGREES WEST 145.9 FEET; THENCE SOUTH 63 DEGREES WEST 66 FEET; THENCE NORTH 22 DEGREES WEST 97.52 FEET; THENCE NORTH 88 DEGREES 30' WEST 480.78 FEET; THENCE NORTH 01 DEGREE 30' EAST 478.19 FEET; THENCE NORTH 88 DEGREES 59' 33" WEST 43.07 FEET; THENCE NORTH 01 DEGREE 00' 27" EAST 133.45 FEET; THENCE NORTH 13 DEGREES 17' 15" WEST 68.11 FEET; THENCE NORTH 01 DEGREE 00' 27" EAST 136.09 FEET; THENCE SOUTH 88 DEGREES 46' 18" EAST 1012.5 FEET; THENCE SOUTH 0 DEGREES 54' 41" WEST 340 FEET; THENCE SOUTH 44 DEGREES 57' 22" EAST 168.81 FEET; THENCE SOUTH 0 DEGREES 54' 41" WEST 550 FEET; TO THE POINT OF BEGINNING. EXCEPT THE PLATE OF NORTH RIDGE ESTATES NO. 3.

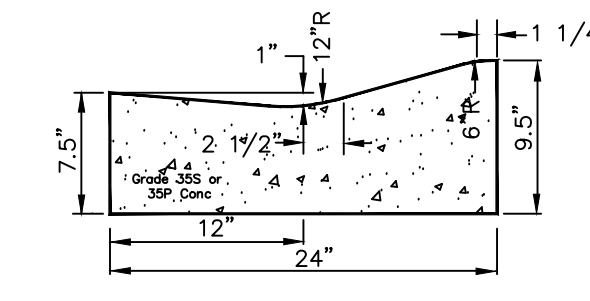
- NOTES:
- PROPOSED PUD ZONING
 - TOTAL GROSS ACRES: 8.45
 - THE SOUTHEAST BODY OF WATER IS APPROXIMATELY 5.4 ACRES. BECAUSE IT IS CLASSIFIED AS A LAKE (>5.0 ACRES), IT IS EXCLUDED FROM THE PROPERTY'S TOTAL GROSS ACREAGE CALCULATION.
 - MAX DWELLING DENSITY: 50 TOTAL UNITS (6 UNITS PER ACRE MAXIMUM)
 - PROPOSED UNITS: 36
 - TOTAL NET ACRES (EXCLUDING POND): 8.01
 - OPEN SPACE REQUIRED: 0.80 ACRES
 - PROPOSED OPEN SPACE: 0.85 ACRES (10.61%)



TYPICAL 28' WIDE STREET CROSS SECTION

- LEGEND
- IRON FOUND
 - HYDRANT
 - ⊗ WATER VALVE
 - ⊙ WATER STOP BOX
 - ⊕ CATCH BASIN
 - MANHOLE
 - SIGN
 - ⊕ ELECTRIC MARKER
 - ⊕ GAS MARKER
 - ⊕ TELEPHONE BOX

Notes: 1 Contraction Joints shall be placed every 10 ft
2 Expansion Joints shall be placed at 350 ft Min and at all Radius Points



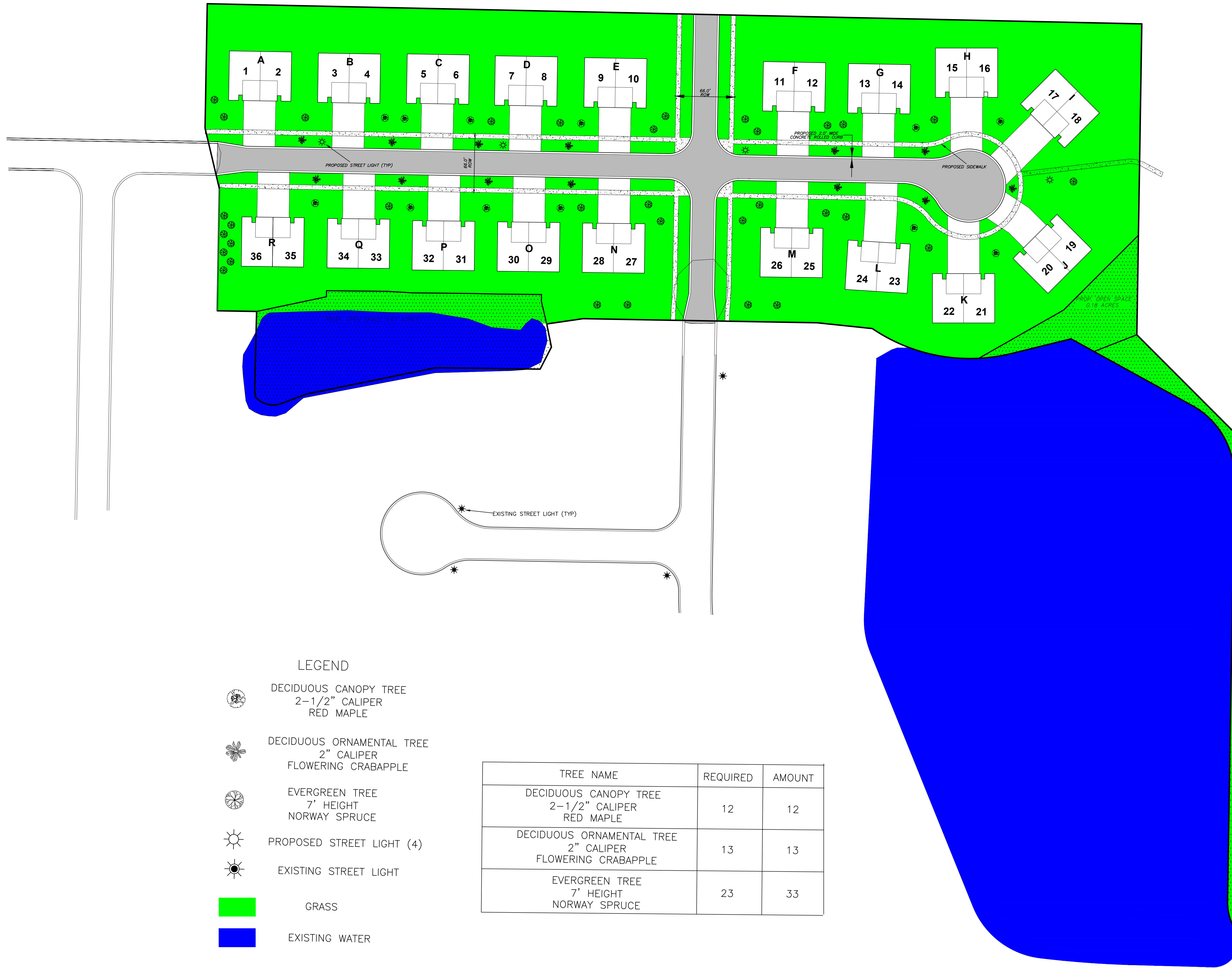
24" CONC ROLLED CURB DETAIL (PITCHED IN)

THORNAPPLE MEADOWS CONDOMINIUMS SITE PLAN HASTINGS, MI

PREPARED FOR:
THORNAPPLE MEADOWS HASTINGS, LLC








PREPARED BY:
Pathfinder
Engineering, Inc.
2335 Byron Center Ave. S.W. Wyoming, MI 49519
Phone 1-616-878-3885 Fax 1-616-878-4559
DATE: 3-23-26 PROJECT NO.: 25030

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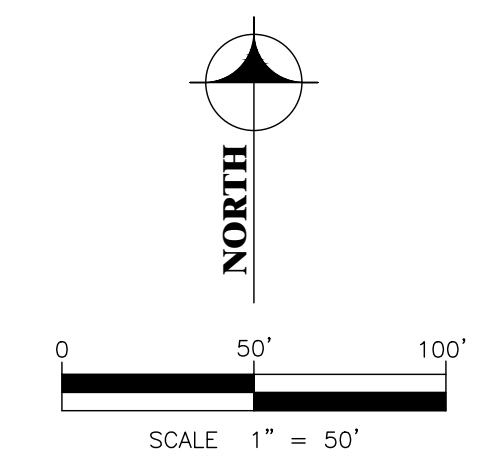


NOTES:
 - **STREET LIGHTING:** FOUR (4) TRADITIONAL POST-TOP NON-CUTOFF FIXTURE STYLE STREET LIGHTS PROPOSED; DECORATIVE RESIDENTIAL-STYLE POLES, APPROXIMATELY 14-FOOT HEIGHT, FULL CUTOFF LED FIXTURES, APPROXIMATELY 40-60 WATT (LED EQUIVALENT).

LEGEND

-  DECIDUOUS CANOPY TREE
2-1/2" CALIPER
RED MAPLE
-  DECIDUOUS ORNAMENTAL TREE
2" CALIPER
FLOWERING CRABAPPLE
-  EVERGREEN TREE
7' HEIGHT
NORWAY SPRUCE
-  PROPOSED STREET LIGHT (4)
-  EXISTING STREET LIGHT
-  GRASS
-  EXISTING WATER

TREE NAME	REQUIRED	AMOUNT
DECIDUOUS CANOPY TREE 2-1/2" CALIPER RED MAPLE	12	12
DECIDUOUS ORNAMENTAL TREE 2" CALIPER FLOWERING CRABAPPLE	13	13
EVERGREEN TREE 7' HEIGHT NORWAY SPRUCE	23	33



**THORNAPPLE MEADOWS
 CONDOMINIUMS
 LANDSCAPING PLAN**
 HASTINGS, MI

PREPARED FOR:
 THORNAPPLE MEADOWS HASTINGS, LLC

PREPARED BY:



2335 Byron Center Ave. S.W. Wyoming, MI 49519
 Phone 1-616-878-3885 Fax 1-616-878-4559
 DATE: 11-14-25 PROJECT NO.: 25030
 REVISED: 12-31-25
 REVISED: 3-25-26

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City of Hastings

NOTICE OF PUBLIC HEARING ON A SPECIAL USE PERMIT FOR 901 WEST GREEN STREET

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public regarding the request for a Special Use Permit and Site Plan Review from Corewell Health-Pennock Hospital for construction of on-site green space and community garden at 901 W. Green Street, Hastings, Michigan 49058. The public hearing will be held at 7:00 PM on Monday May 4, 2026, in the Council Chambers, second floor of City Hall, 201 East State Street, Hastings, MI 49058. Please check the City of Hastings website at www.hastingsmi.gov or contact City Hall at 269-945-2468 for details.

All interested citizens are encouraged to attend and to submit comments.

A copy of the plans and additional background materials are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 E. State Street, Hastings, MI 49058. Questions or comments can be directed to Dan King, Community Development Director at 269-945-2468 or dking@hastingsmi.gov.

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Linda Perin
City Clerk

Please publish in the April 16, 2026, edition of the
Hastings Banner.



MCKENNA

April 30, 2026

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

Applicant: Deborah Dawe, OCBA

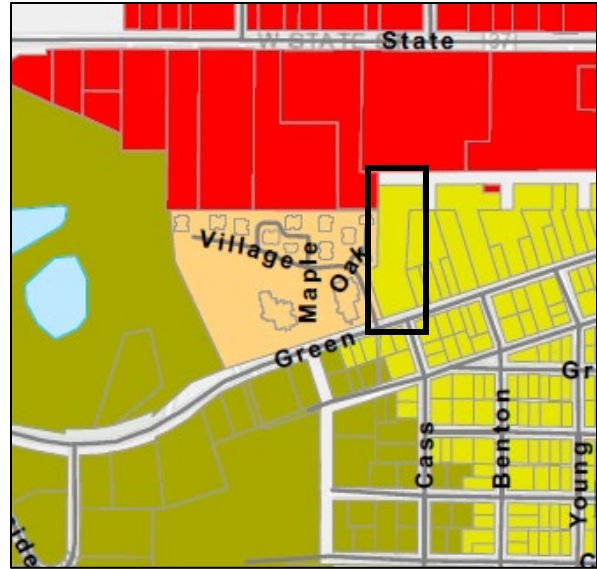
Representing Corewell Health –
Pennock Hospital

Property: 901 W. Green Street

Zoning: R-2 District

Request: *Special Use Permit/Site Plan Review –
Pennock Gardens*

Zoning Map



 R-2 One Family Residential District

Application Overview

- The subject site consists of approximately 3 acres and is provided 190 ft of frontage on W. Green Street. The subject site is a lawful conforming interior lot.
- The subject site was previously occupied by a single-family dwelling but is currently vacant.
- Applicant proposes:
 - 1) the removal of existing gravel, concrete/pavement, and fencing present on the site; and



WEST MICHIGAN
151 South Rose Street
Suite 190
Kalamazoo, Michigan 49007

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☎ 248.596.0930
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2) the establishment of Pennock Gardens, to include a 320 sq ft garden shed/open patio, open pavilion, concrete walks/paved trail/mulch paths, and garden features . . in association with the adjacent Pennock Hospital.

- A ‘hospital’ is a Special Use within the R-2 District (Section 90-313 b. – *‘public and institutional uses and hospitals’*); the proposed ‘Pennock Gardens’ is allowed as a hospital related/accessory use (Section 90-1087 – *‘hospitals’*).
- A review of the proposal shall be guided by **Sections 90-314 – R-2 District Regulations**; Section 90-831 – *Accessory Buildings*; **Section 90-1087 – Hospitals**; **Section 90-1049 – Special Land Use Standards for Approval**; and **Section 90-131 – Site Plan Review Standards**.

Site Plan Review:

	Permitted/Required	Proposed
Section 90-314	R-2 District Regulations	
Min Lot Size	8,000 sq ft	Approximately 3 acres (+ adjacent 14-acre hospital site)
Min Lot Width	66 ft	190 ft
Section 90-831	Accessory Buildings	
Separation from Principal Bldg	10 ft	>10 ft
Separation from Accessory Bldgs	6 ft	N/A (<i>open pavilion/pergola are not accessory buildings</i>)
Location	On-site of Principal Building	On site adjacent to Pennock Hospital
Min Bldg Setbacks	Front – 25 ft Side – 3 ft Rear – 3 ft	W. Green St - >25 ft West - >3 ft East - >3 ft Rear (north) – >3 ft
Max Bldg Size/Total Bldg Size	900 sq ft/1100 sq ft	320 sq ft – Garden Shed
Max Bldg Height	14 ft	18 ft [See Section 90-613 Below]



Number of Bldgs	2	1 – Garden Shed (<i>open pavilion/ pergola are not accessory buildings</i>)
Section 90-613 Accessory Building Overlay Zone		
Max Bldg Height	Height of Principal Bldg on Same Site (Pennock Hospital)	18 ft
Min Bldg Setbacks	Side – 6 ft Rear – 10 ft	Side - >6 ft Rear - >10 ft
Bldg Materials	Similar to Principal Nearby Principal Bldgs	Unknown
Roof	Peak w/ shingles	Cupola
Section 90-1087 - Hospitals		
Min Lot Size	10 acres (contiguous parcels)	Approximately 3 acres (+ adjacent 14-acre hospital site)
Min Frontage	300 ft on Major Street	
Utilities	Public Utilities	Public sanitary sewer & water
Access	Major Street	*W. Green Street (same as adjacent hospital)
Max Lot Coverage	40%	<40% of total 17-acre site
Landscaping/Buffering	Per Article XII – Landscaping	See below
Outdoor Lighting	Max 20 ft Height; Sharp-Cut Off Fixtures	9 pole lights; 16 ft; fixture type unknown
<i>*Site development standards (signs, fences, drives, walks, etc.) may be modified by the Planning Commission when consistent with SLU criteria.</i>		

Section 90-132 – Access

- A 24 ft wide driveway is proposed only to serve two (2) on-site barrier free parking spaces.
 - The proposed driveway is located opposite the intersection of Cass Street, as recommended.
 - The proposed driveway is provided a 100-150 ft separation from adjacent driveways, as recommended.



- **Approval should be subject to a driveway permit from the City of Hastings.**

Article X - Off-Street Parking

- **Required Parking**
 - No additional parking is required to serve the proposed accessory use.
 - The two (2) barrier free parking spaces provided are at the applicant's discretion.
 - The proposed parking meets applicable dimensional, maneuverability, and surface standards.
- **The storm water drainage proposal shall be subject to Public Services review/approval.**
- **9-16 ft pole-mounted exterior lights are proposed; compliance with sharp cut-off fixture type requirement cannot be confirmed.**

Article XI – Signs

- **Any sign proposal shall be subject to compliance with applicable Zoning Ordinance requirements and shall be reviewed/approved through the permit process. (See Section 90.965)**

Article XII - Landscaping

- No screening or landscape buffer zone is required on the subject site.
- Section 90-1011 requires the following front yard landscaping along W. Green Street – 4 canopy trees, 7 evergreen trees, 4 ornamental trees, 15 shrubs; **compliance cannot be confirmed.**
- **Per Section 90-1007, the Planning Commission may modify the landscaping/screening requirements in consideration of existing on-site vegetation and on-site/adjacent land uses.**



□ Section 90-1049 - Special Land Use Standards

- (1) ***Be designed, constructed, operated and maintained so it will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not result in a detrimental change to the essential character of the area in which it is proposed.***
 - In determining consistency of character, consider the following:
 - : The subject property (2 parcels) is in an area of mixed zoning (R-S,R-2, A-1, B-2) and mixed land use (residential, hospital, off-site parking lots).
 - : The proposed gardens do not represent a change in intensity of use on the site.
 - : Lot coverage is minimal and natural feature preservation is a key element.
 - : Proposed outdoor activities are passive in nature.
- (2) ***Be adequately served by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.***
 - The property is adequately served by public facilities; the proposed use of the site will not alter or impact service capacity.
- (3) ***Not create excessive additional requirements at public cost for public facilities and services.***
 - The proposed use of the property will not require public facility improvements.
- (4) ***Not involve uses, activities, processes, materials and equipment, or conditions of operation that will be overly detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.***
 - The proposed gardens will not alter the current intensity of use on the site.
 - The proposed parking area is minimal in size and is centrally situated on the site near the roadway.
 - Front yard landscaping requirements and the proposed retention of the existing land cover on much of the site can be considered in determining mitigation of impacts.
 - The gardens represent a passive use accessory to the hospital.



(5) ***Be consistent with the intent and purpose of the zoning district in which such use will be located.***

- The R-2 District is intended to *'provide for single-family housing . . . and certain compatible nonresidential uses.'*
- The proposed lack of increase in intensity of use and compliance with all required District standards would suggest consistency with the intent of the R-2 District.

(6) ***Be compatible with and in accordance with the city's master plan.***

- The subject property is located within an area planned as *'core neighborhood' . . . characterized by 'single family and multiple family residential housing in an urban setting . . . as well as schools, parks, open space and other compatible civic uses.'*
- The proposed gardens and related retention of on-site vegetation, as well as compliance with District requirements, would suggest consistency with Master Plan objectives.





□ Summary of Findings:

- The use proposal meets the special land use standards of Section 90-1049, noting the lack of increase in intensity of use; proposed on-site natural feature preservation; and, compliance with District and use requirements.
- Special Land Use/Site Plan approval should be conditioned upon:
 - The combination of the subject property with the adjacent Pennock Hospital property into a single parcel to support the proposed use as an accessory use to Pennock Hospital.
 - A demonstration of compliance with building material (garden shed), outdoor lighting, and landscaping requirements.
 - Any sign proposal shall be subject to compliance with applicable Zoning Ordinance requirements and shall be reviewed/approved through the permit process.
 - A driveway permit from the City of Hastings.
 - City of Hastings Department of Public Services (DPS) review/approval of proposed utility connections and the stormwater management plan.



COREWELL HEALTH PENNOCK HOSPITAL PENNOCK GARDENS

HASTINGS, MICHIGAN

LOCATION MAP

SHEET INDEX

OWNER:
COREWELL HEALTH PENNOCK HOSPITAL
1009 W GREEN ST
HASTINGS, MICHIGAN
269-945-3451 TELE

LANDSCAPE ARCHITECT:
O'BOYLE COWELL BLALOCK
& ASSOCIATES, INC.
141 E MICHIGAN AVE, SUITE 500
KALAMAZOO, MI, 49007
269-381-3357 TELE
269-381-2944 FAX

CIVIL ENGINEER:
MOORE + BRUGGINK, INC.
2020 MONROE AVE NW
GRAND RAPIDS, MI, 49505
616-363-9801 TELE

ELECTRICAL ENGINEER:
IGNYTE DESIGN
38 COMMERCE AVE SW, SUITE 450
GRAND RAPIDS, MI, 49503



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Issued For: _____ Date _____
SITE PLAN REVIEW 4-10-26

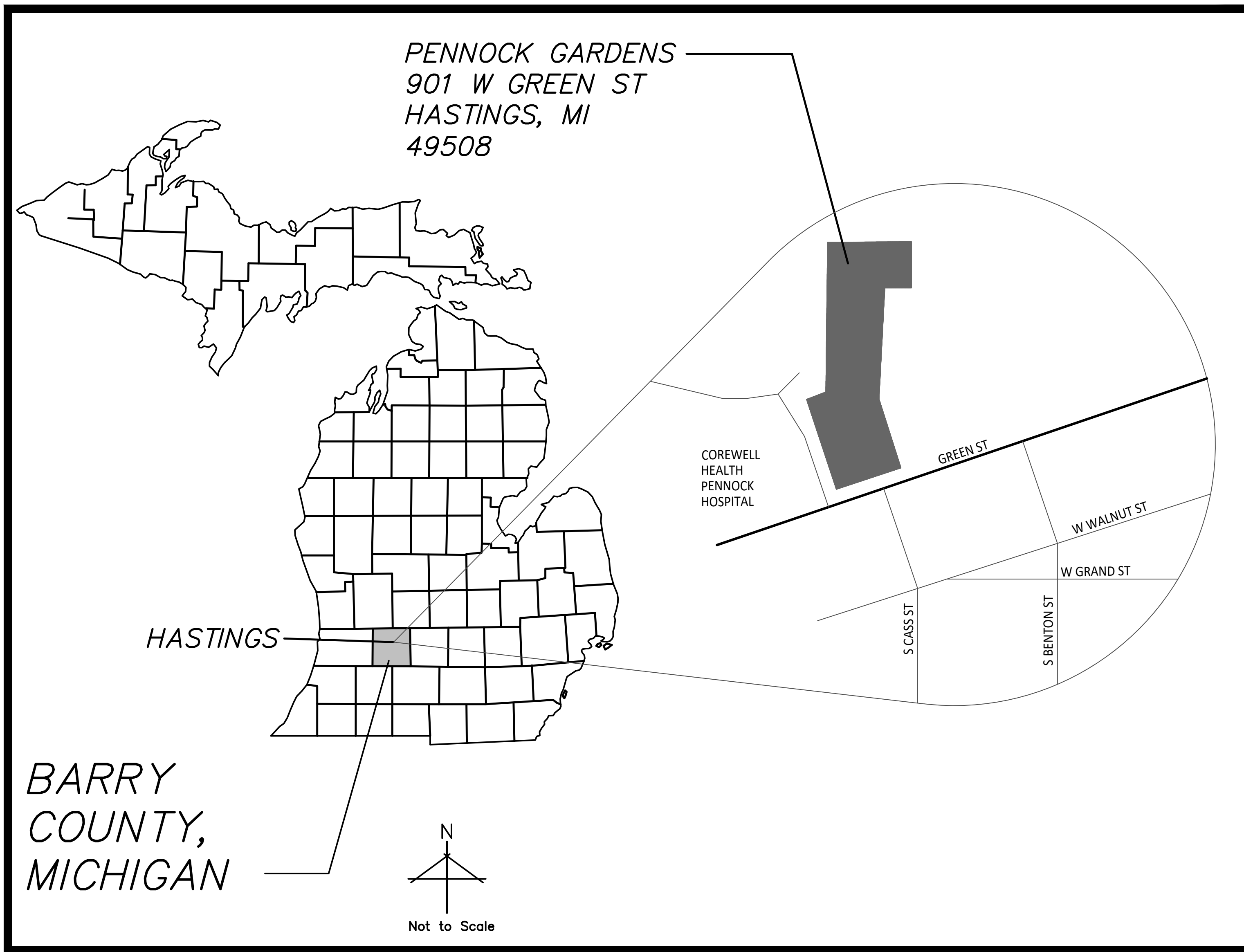
Project:
Pennock Gardens

Hastings, Michigan
Sheet Title

Cover Sheet

Job No. _____ Sheet No. _____

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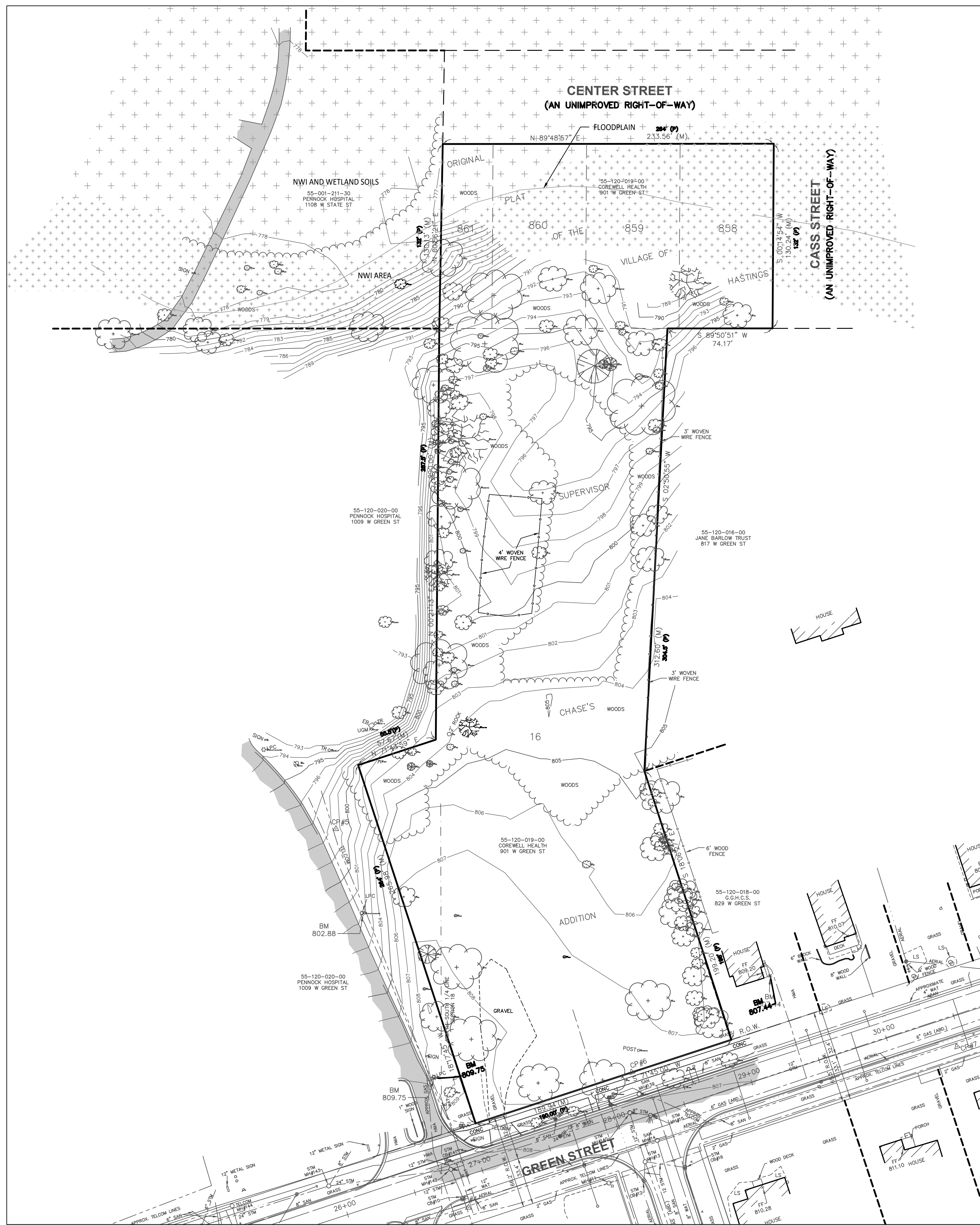


No. _____

C0.0	Cover
C0.1	Existing Conditions Plan
C1.0	Demolition Plan
C2.0	Layout Plan
C3.0	Grading and SESC Plan
C3.1	Utility Plan
C4.0	Site Details
C4.1	Site Details
L1.0	Landscaping Plan
E000	Electrical Symbols and General Notes
E001	Electrical Specifications
E002	Electrical Specifications
E010	Electrical Site Plan

NOTES:
1. Except where other wise indicated on the plans or in the proposal and supplemental specifications or special provisions contained herein, all materials and workmanship shall be in accordance with Michigan Department of Transportation Standard Specifications for Construction, 1996 Edition.
2. Call Miss Dig, 1-800-482-7171 three working days, excluding Saturday, Sunday and holidays, before starting your project.

LEGAL DESCRIPTION:
Lot 16 of Supervisor Chase's addition to the City of Hasting, Barry County, Michigan, as recorded in Liber 3 of Plats, Page 1 in the Register of Deeds Office for Barry County, Michigan, being located in the West one-half of the Southeast one-quarter of Section 18, Town 3 North, Range 8 West, also Lots 858, 859, 860, and 861 of the City, formerly Village of Hastings, according to the recorded plat thereof.



GENERAL NOTES:

1. SURVEY OF EXISTING CONDITIONS ON SUBJECT PROPERTY PROVIDED BY MOORE + BRUGGINK, INC., 2020 MONROE AVE, GRAND RAPIDS, 49505.
2. SURVEY OF EXISTING CONDITIONS ON GREEN ST ROW PROVIDED BY MOORE + BRUGGINK, INC., 2020 MONROE AVE, GRAND RAPIDS, 49505.
3. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
4. PROTECT ALL TREES & EXISTING FEATURES TO REMAIN AS SPECIFIED.
5. REFER TO THE LAYOUT PLAN FOR LIMITS OF REMOVAL.
6. FLOODPLAIN AND WETLAND BOUNDARIES ARE APPROXIMATE VIA GIS AND FEMA FLOOD MAPS.

PROPERTY DESCRIPTION

Lot 16 of Supervisor Chase's addition to the City of Hastings, Barry County, Michigan, as recorded in Liber 3 of Plats, Page 1 in the Register of Deeds Office for Barry County, Michigan, being located in the West one-half of the Southeast one-quarter of Section 18, Town 3 North, Range 8 West, also Lots 858, 859, 860 and 861 of the City, formerly Village of Hastings, according to the recorded plat thereof.

LEGEND

- SANITARY SEWER (SAN)
- STORM SEWER (STM)
- WATERMAIN (WAT)
- GAS MAIN (GAS)
- UG ELECTRIC (PWR)
- UG TELCOM (TELCOM)
- AERIAL UTILITY LINE (AERIAL)
- FENCE
- HOT MIX ASPHALT SURFACE (HMA)
- ▲ - HYDRANT (HYD)
- ◀ - WATER VALVE (WV)
- - MANHOLE (MH)
- - CATCH BASIN (CB)
- ⊙ - UTILITY POLE (UP)
- ⊙ - GUY ANCHOR (GA)
- ✕ - UG GAS MARKER (UGM)
- - ELECTRIC BOX (EB)
- ⊙ - LIGHT POLE W/CONC BASE (LPC)
- - TELCOM RISER (TR)
- M - MEASURED DIMENSION
- P - PLATTED DIMENSION
- BM - BENCHMARK
- CP - CONTROL POINT
- TELCOM - TELECOMMUNICATIONS

PROPERTY DESCRIPTION

Lot 16 of Supervisor Chase's addition to the City of Hastings, Barry County, Michigan, as recorded in Liber 3 of Plats, Page 1 in the Register of Deeds Office for Barry County, Michigan, being located in the West one-half of the Southeast one-quarter of Section 18, Town 3 North, Range 8 West, also Lots 858, 859, 860 and 861 of the City, formerly Village of Hastings, according to the recorded plat thereof.



141 E. Michigan Avenue, Suite 500
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design



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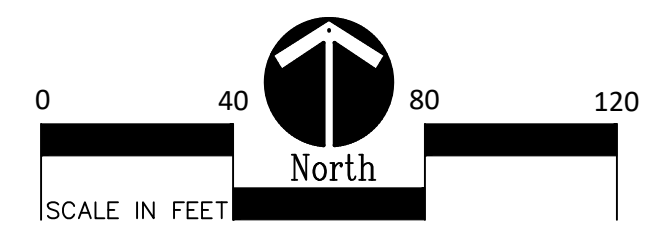
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Issued For: _____ Date _____
SITE PLAN REVIEW 4-10-26

Project: **Pennock Gardens**

Hastings, Michigan
Sheet Title _____

Existing Conditions



Job No. _____ Sheet No. _____

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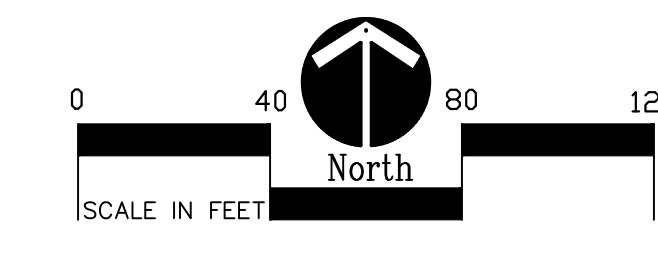
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Issued For: _____ Date _____
SITE PLAN REVIEW 4-10-26

Project:
Pennock Gardens

Hastings, Michigan
Sheet Title

Layout Plan



Job No. _____ Sheet No. _____

PROPOSED FEATURES LEGEND:

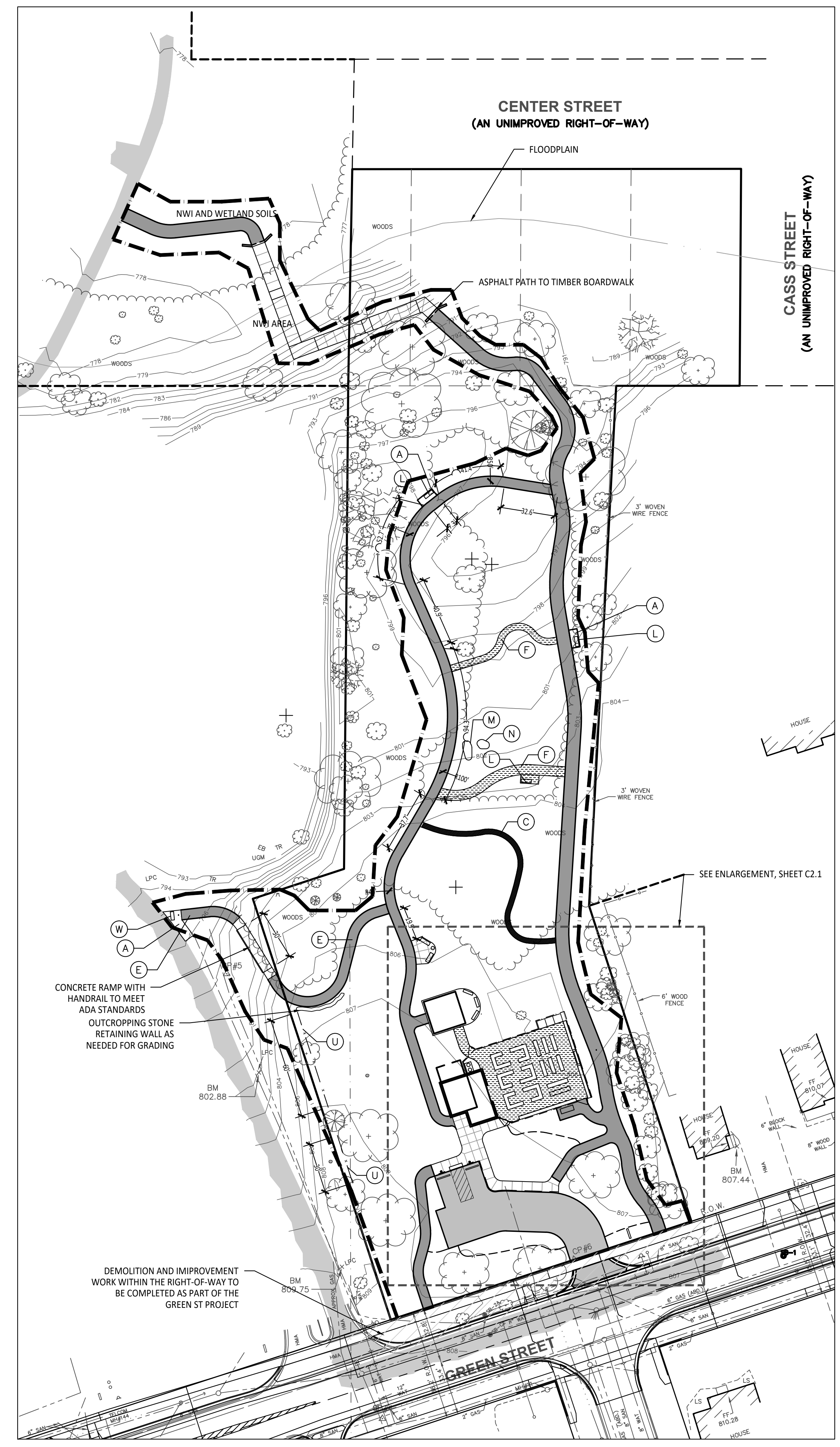
SYMBOL	DESCRIPTION	DETAIL	KEY	DESCRIPTION	DETAIL
(D)	BITUMINOUS PAVING- MODERATE DUTY	8 / C4.0	(A)	CONCRETE WALK	12 / C4.0
(E)	BITUMINOUS PAVING- TRAIL	9 / C4.0	(B)	THICKENED EDGE CONCRETE WALK	14 / C4.0
(C)	WOOD MULCH PATH		(C)	WOOD MULCH PATH	XX / CX.XX
(F)	CRUSHED STONE	15 / C4.0	(D)	BITUMINOUS PAVING - MODERATE DUTY	8 / C4.0
(G)	BUBBLING FOUNTAIN		(E)	ASPHALT TRAIL	9 / C4.0
(H)	CONCRETE CURB AND GUTTER		(F)	CRUSHED STONE	15 / C4.0
(J)	STONE RETAINING WALL	XX / CX.XX	(G)	BUBBLING FOUNTAIN	5 / C4.1
(K)	20' X 20' SHELTER W/ 8' EAVE HEIGHT	7 / C4.1	(H)	CONCRETE CURB AND GUTTER	BY OTHERS
(L)	BENCH TYPE 1	5 / C4.1	(J)	STONE RETAINING WALL	XX / CX.XX
(M)	PETRA SEAT TYPE 1	6 / C4.1	(K)	20' X 20' SHELTER W/ 8' EAVE HEIGHT	7 / C4.1
(N)	PETRA SEAT TYPE 2	6 / C4.1	(L)	BENCH TYPE 1	5 / C4.1
(P)	PERGOLA SWING	2 / C4.1	(M)	PETRA SEAT TYPE 1	6 / C4.1
(Q)	COMPOST ENCLOSURE	3 / C4.1	(N)	PETRA SEAT TYPE 2	6 / C4.1
(R)	RAISED PLANTING BED	XX / CX.XX	(P)	PERGOLA SWING	2 / C4.1
(T)	GARDEN FENCE	1 / C4.1	(Q)	COMPOST ENCLOSURE	3 / C4.1
(U)	GARDEN GATE	XX / CX.XX	(R)	RAISED PLANTING BED	XX / CX.XX
(V)	RAIL FENCE	4 / C4.1	(T)	GARDEN FENCE	1 / C4.1
(W)	BARRIER-FREE RAMP TYPE 1 DETECTABLE WARNING TILES	4 / C4.0	(U)	GARDEN GATE	XX / CX.XX
(X)	TWO RAIN BARRELS ON STAND	XX / CX.XX	(V)	RAIL FENCE	4 / C4.1
			(W)	BARRIER-FREE RAMP TYPE 1 DETECTABLE WARNING TILES	4 / C4.0
			(X)	TWO RAIN BARRELS ON STAND	XX / CX.XX
SIGNS					
(S1)	PENNOCK GARDEN MONUMENT SIGN	SEE SPECS.			
(S2)	BARRIER FREE PARKING - VAN ACCESSIBLE	SEE SPECS.			

LAYOUT NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY MOORE & BRUGGINK, 2020 MONROE AVE, GRAND RAPIDS, 49505.
2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

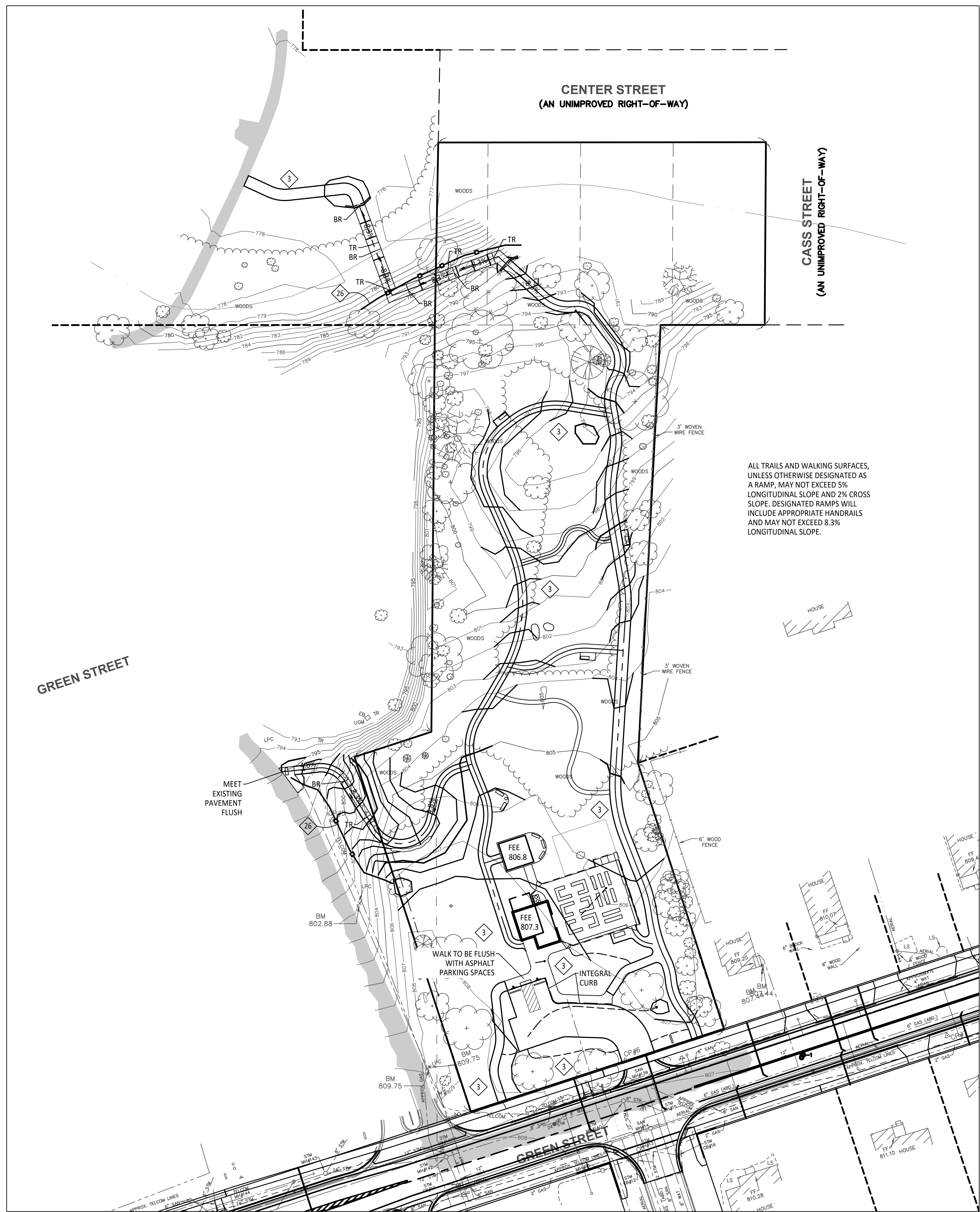
BARRIER-FREE NOTES

BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
 - NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
 - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
 - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.



PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL	KEY	DESCRIPTION	DETAIL
(D)	BITUMINOUS PAVING- MODERATE DUTY	8 / C4.0	(A)	CONCRETE WALK	12 / C4.0
(E)	BITUMINOUS PAVING- TRAIL	9 / C4.0	(B)	THICKENED EDGE CONCRETE WALK	14 / C4.0
(F)	CRUSHED STONE	15 / C4.0	(C)	WOOD MULCH PATH	XX / CX.XX
(G)	WOOD MULCH PATH		(D)	BITUMINOUS PAVING - MODERATE DUTY	8 / C4.0
(H)	CONCRETE CURB AND GUTTER		(E)	ASPHALT TRAIL	9 / C4.0
(I)	RAISED PLANTING BED		(F)	CRUSHED STONE	15 / C4.0
(J)	STONE RETAINING WALL		(G)	BUBBLING FOUNTAIN	5 / C4.1
(K)	20' X 20' SHELTER W/ 8' EAVE HEIGHT		(H)	CONCRETE CURB AND GUTTER	BY OTHERS
(L)	BENCH TYPE 1	5 / C4.1	(I)	PERGOLA SWING	2 / C4.1
(M)	PETRA SEAT TYPE 1	6 / C4.1	(J)	COMPOST ENCLOSURE	3 / C4.1
(N)	PETRA SEAT TYPE 2	6 / C4.1	(K)	RAISED PLANTING BED	XX / CX.XX
(O)	PERGOLA SWING	2 / C4.1	(L)	GARDEN FENCE	1 / C4.1
(P)	COMPOST ENCLOSURE	3 / C4.1	(M)	GARDEN GATE	XX / CX.XX
(Q)	RAISED PLANTING BED	XX / CX.XX	(N)	RAIL FENCE	4 / C4.1
(R)	GARDEN FENCE	1 / C4.1	(O)	BARRIER-FREE RAMP TYPE 1 DETECTABLE WARNING TILES	4 / C4.0
(S)	GARDEN GATE	XX / CX.XX	(P)	TWO RAIN BARRELS ON STAND	XX / CX.XX
(T)	RAIL FENCE	4 / C4.1			
(U)	BARRIER-FREE RAMP TYPE 1 DETECTABLE WARNING TILES	4 / C4.0			
(V)	TWO RAIN BARRELS ON STAND	XX / CX.XX			
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GRADING NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY MOORE & BRUGGINK, 2020 MONROE AVE, GRAND RAPIDS, 49505.
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
5. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.
6. SEE SITE MECHANICAL AND SITE ELECTRICAL PLANS FOR ALL ADDITIONAL SITE UTILITY DEMOLITION AND CONSTRUCTION.

PROPOSED FEATURES LEGEND:

	EXISTING CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATIONS
	DIRECTION AND PERCENTAGE OF SLOPE
	LEACHING BASIN. SEE DETAIL
	CATCH BASIN. SEE DETAIL
	MAN HOLE. SEE DETAIL
	PROPOSED UNDER DRAIN PIPE
	PROPOSED STORM PIPE
	FINISH FLOOR ELEVATION
	INVERT ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION
	HIGH POINT
	TOP OF WALL
	BOTTOM OF WALL
	TOP OF RAMP
	BOTTOM OF RAMP
	SILT FENCE
	WORK LIMIT LINE



141 E. Michigan Avenue, Suite 500
Kalamazoo Michigan 49007
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Landscape Architecture
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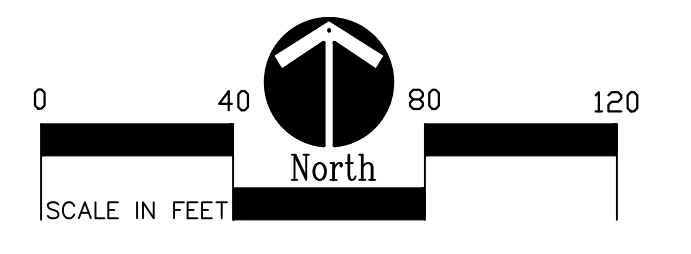
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Issued For: _____ Date _____
SITE PLAN REVIEW 4-10-26

Project: **Pennock Gardens**

Hastings, Michigan

Sheet Title
Grading and SESC Plan



Job No. _____ Sheet No. _____

EROSION CONTROL TIMELINE

ITEM	DESCRIPTION	APPROXIMATE TIME FRAME	NOTES:
1.	INSTALL SILT FENCING / PERIMETER EROSION CONTROL	SUMMER '26	1. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD. 2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED TO MINIMIZE SILT LEAVING THE CONSTRUCTION SITE.
2.	STRIP & STOCKPILE TOPSOIL	SUMMER '26	
3.	INSTALL PAVEMENT SUB-BASE	FALL '26	
4.	INSTALL TEMPORARY STABILIZATION SEEDING	FALL '26	
5.	INSTALL LEVELING COURSE OF PAVING	FALL '26	
6.	INSTALL WEARING COURSE OF PAVING	FALL '26	
7.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '26	

EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY BARRY COUNTY. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MDOT DRAWING R-96-C, 8-9-2001)

ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.

KEY	DESCRIPTION	TEMPORARY / PERMANENT
3	PERMANENT/TEMPORARY SEEDING	P
26	GEOTEXTILE SILT FENCE	T

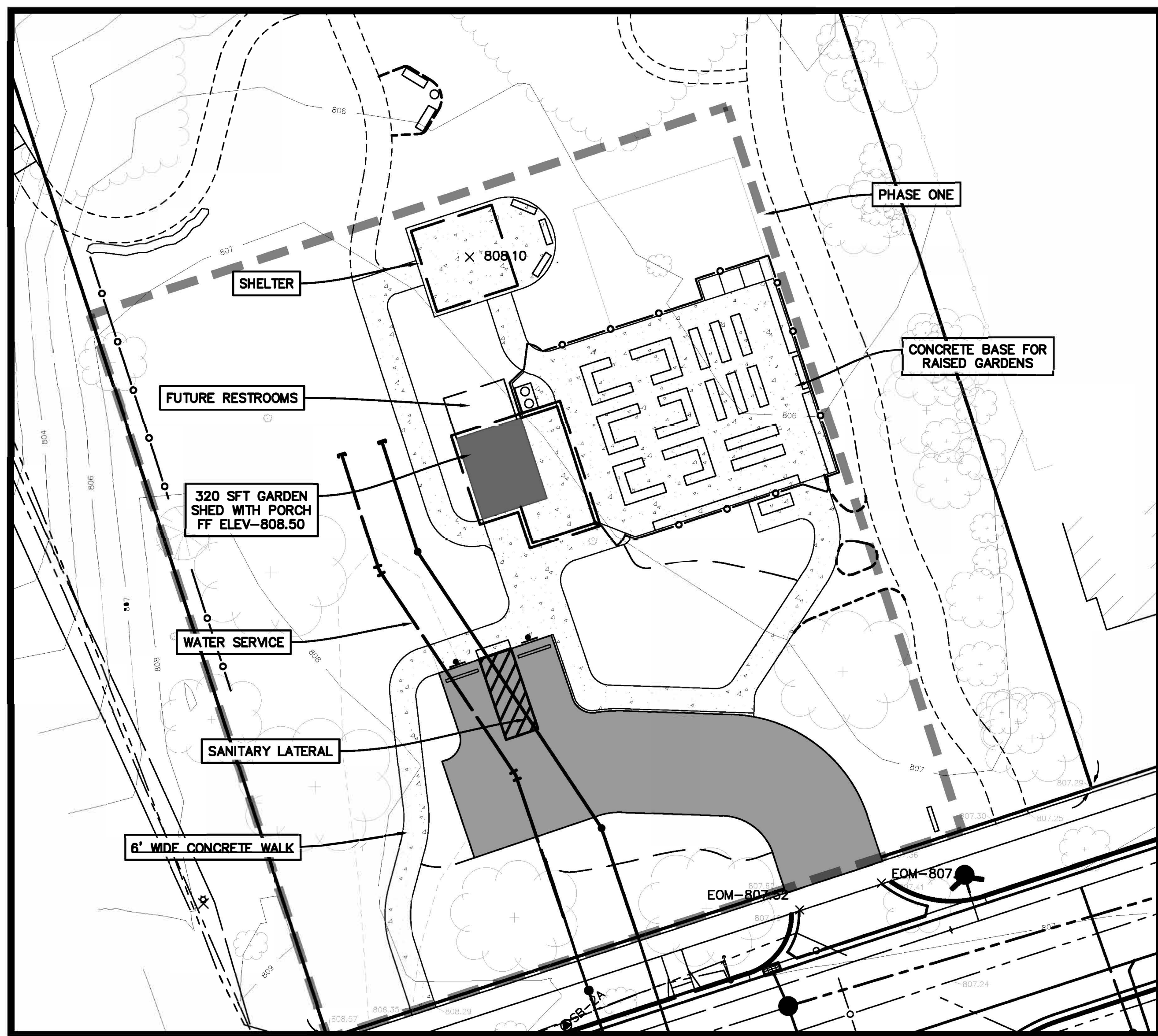
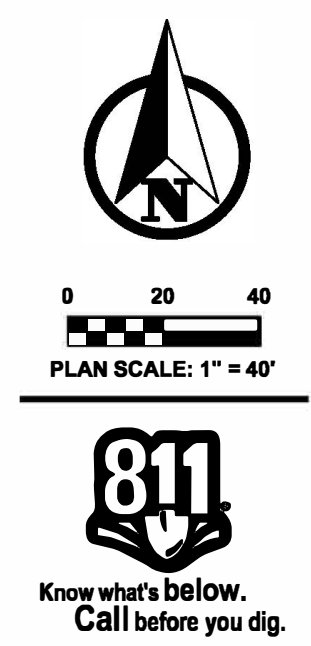
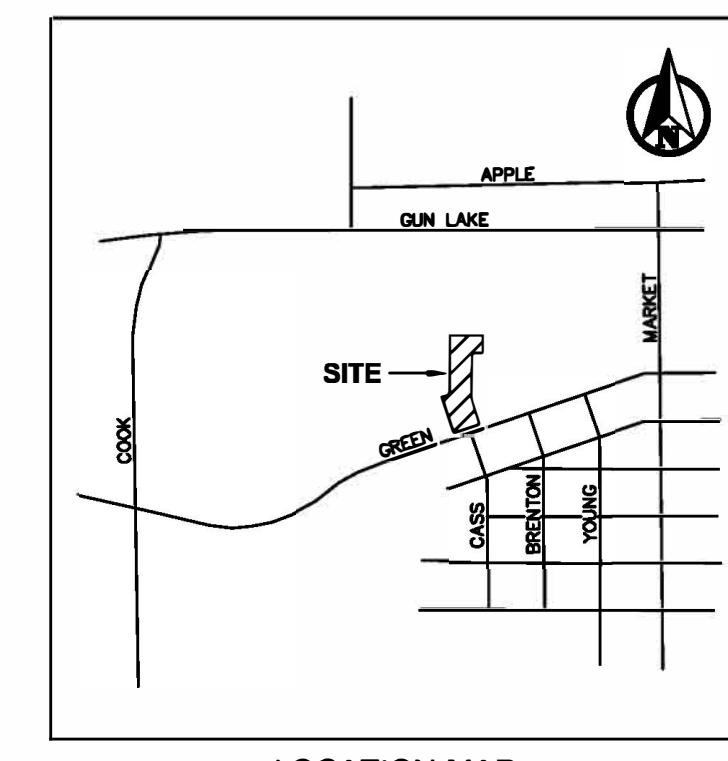
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Issued For:	Date
XXXXXXXX	X-XX-XX

Project:
Pennock Gardens

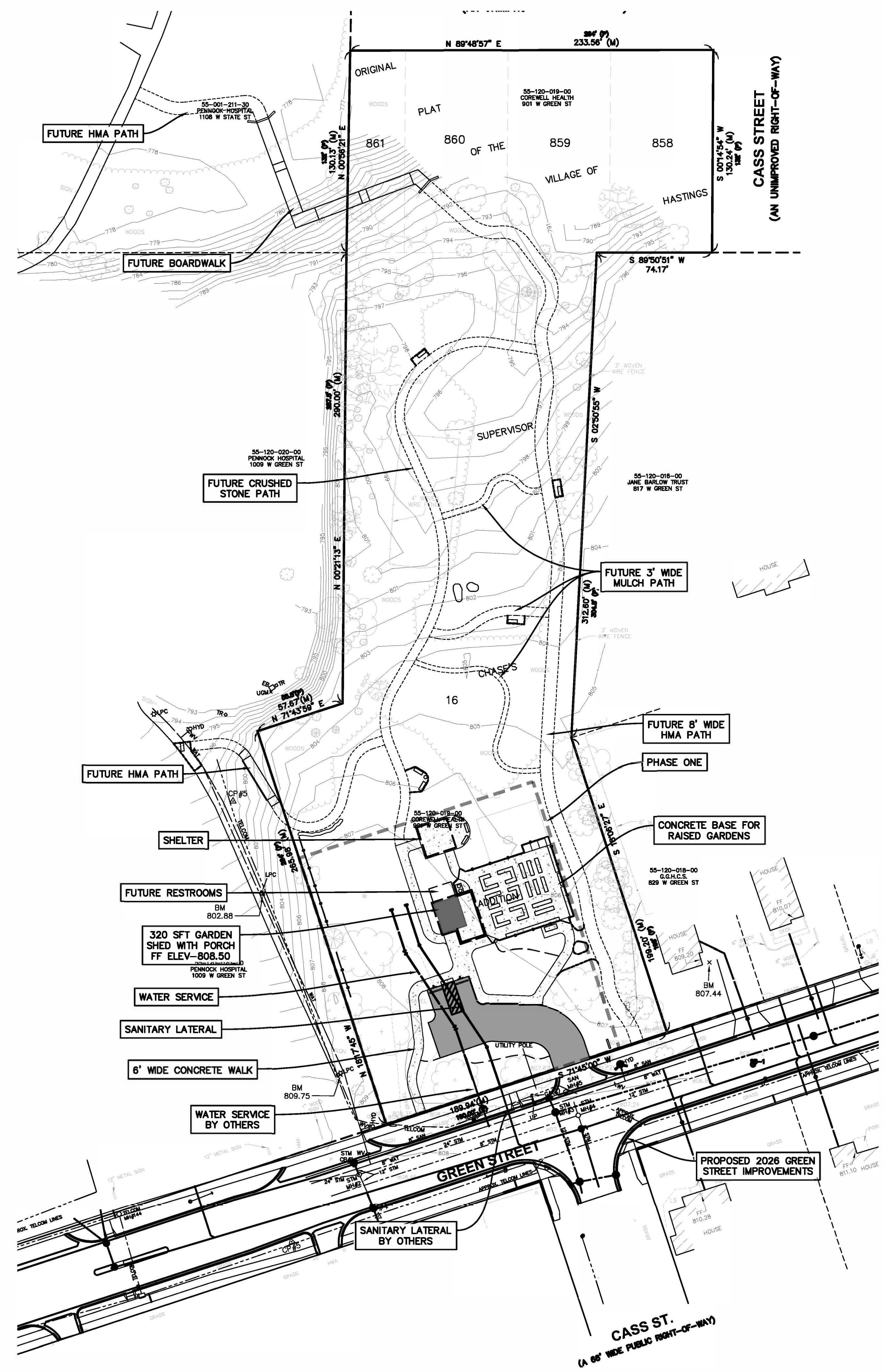
Hastings, Michigan
Sheet Title
Utility Plan



LEGEND

<ul style="list-style-type: none"> - SANITARY SEWER (SAN) - STORM SEWER (STM) - WATERMAIN (WAT) - GAS MAIN (GAS) - UG ELECTRIC (PWR) - UG TELCOM (TELCOM) - AERIAL UTILITY LINE (AERIAL) - FENCE - HOT MIX ASPHALT SURFACE (HMA) 	<ul style="list-style-type: none"> Δ - HYDRANT (HYD) ⊕ - WATER VALVE (WV) ○ - MANHOLE (MH) ⊞ - CATCH BASIN (CB) ⊙ - UTILITY POLE (UP) ⊙ - GUY ANCHOR (GA) ⊙ - UG GAS MARKER (UGM) ⊙ - ELECTRIC BOX (EB) ⊙ - LIGHT POLE W/CONC BASE (LPC) ⊙ - TELCOM RISER (TR) 	<ul style="list-style-type: none"> M - MEASURED DIMENSION P - PLATTED DIMENSION BM - BENCHMARK CP - CONTROL POINT TELCOM - TELECOMMUNICATIONS
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PREPARED FOR:
O'BOYLE, COREWELL, BLALOCK & ASSOCIATES, INC.
124 FULTON STREET, E
SUITE 68
GRAND RAPIDS, MICHIGAN 49503
ATTN: DEBORAH DAWE
DDAWE@OCBA.COM



P:260138.01 Pennock Gardens Hastings CAD:DWG:260138.01 Pennock Gardens Hastings DESIGN.dwg 4/9/2026 4:16:14 PM LISA FRIZZELL

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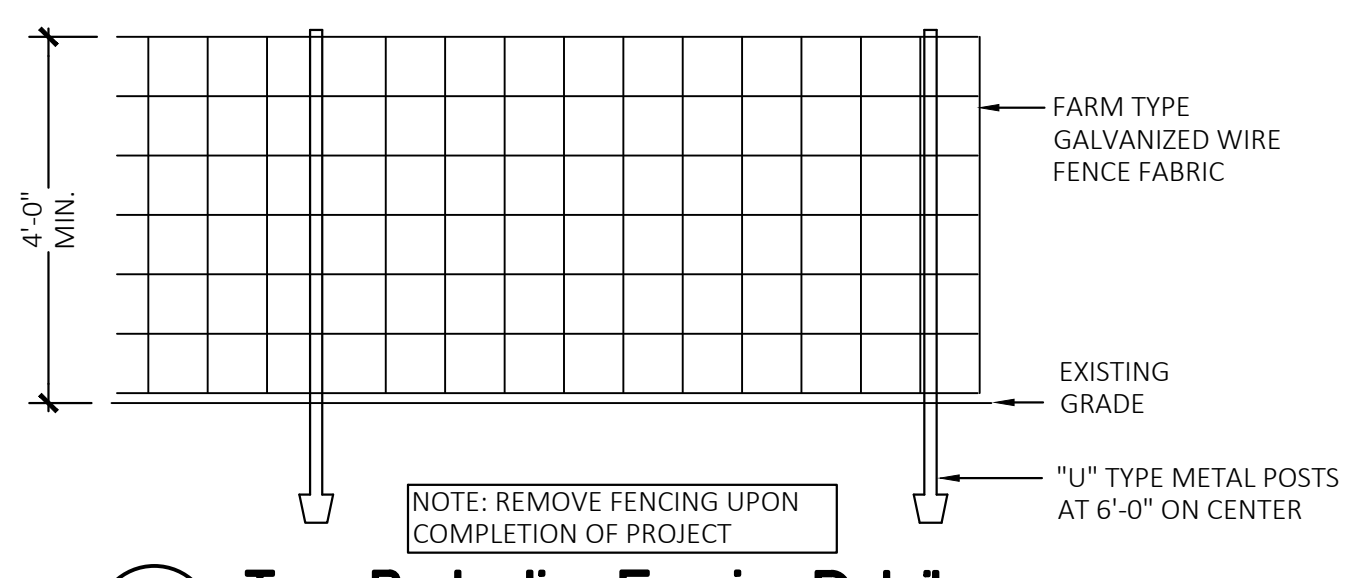
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SITE PLAN REVIEW 4-10-26

Project: **Pennock Gardens**

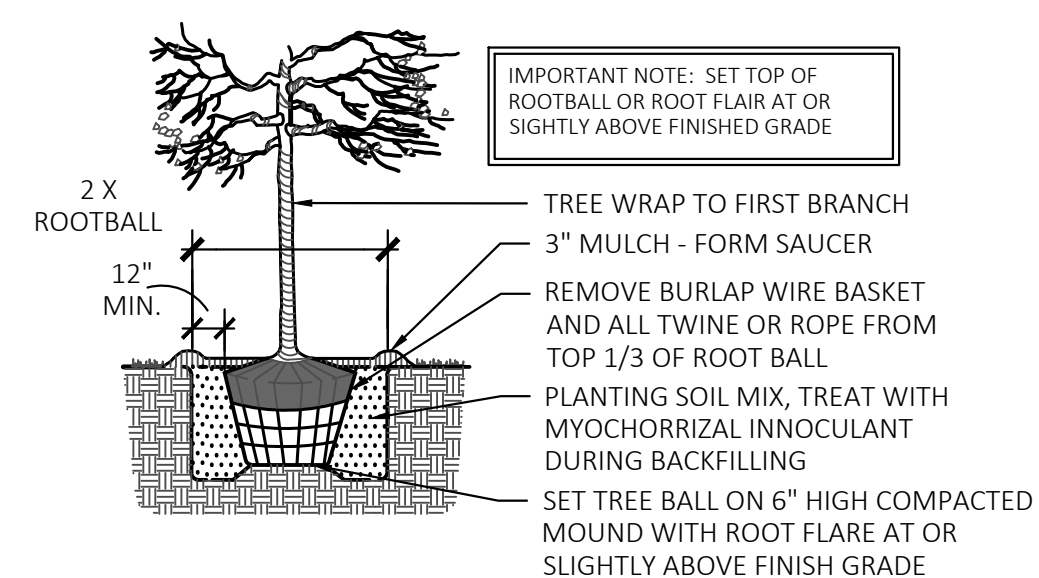
Hastings, Michigan
Sheet Title _____

Site Details

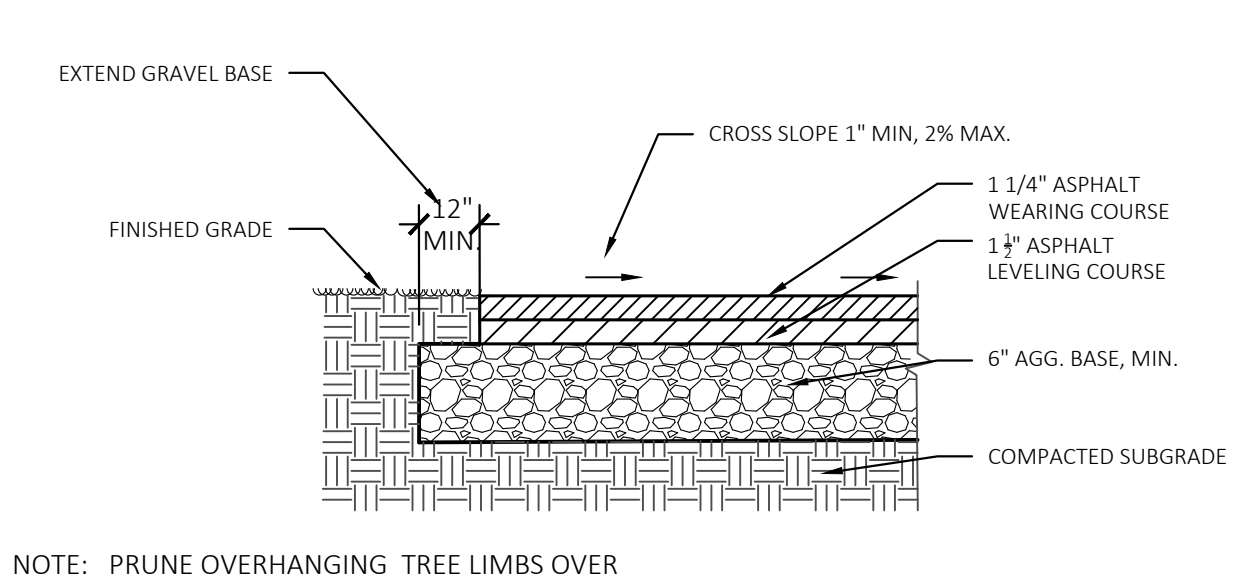
Job No. _____ Sheet No. _____
32514 C4.0



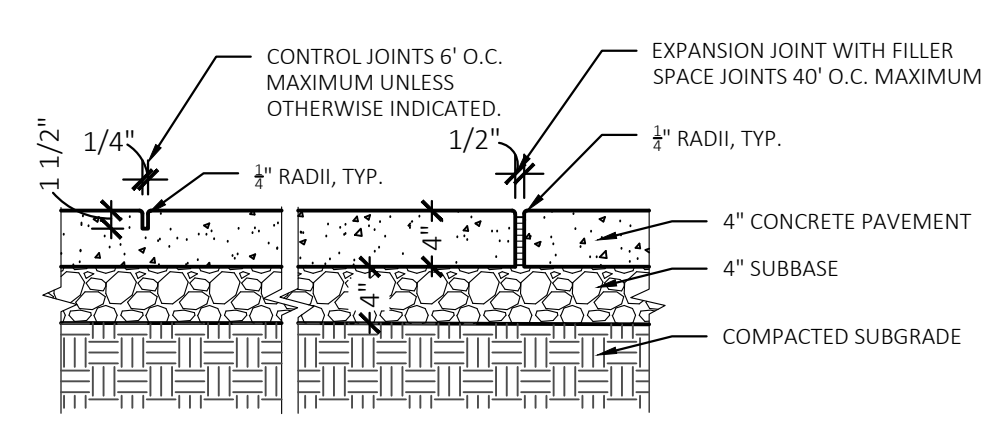
1 Tree Protection Fencing Detail
NOT TO SCALE



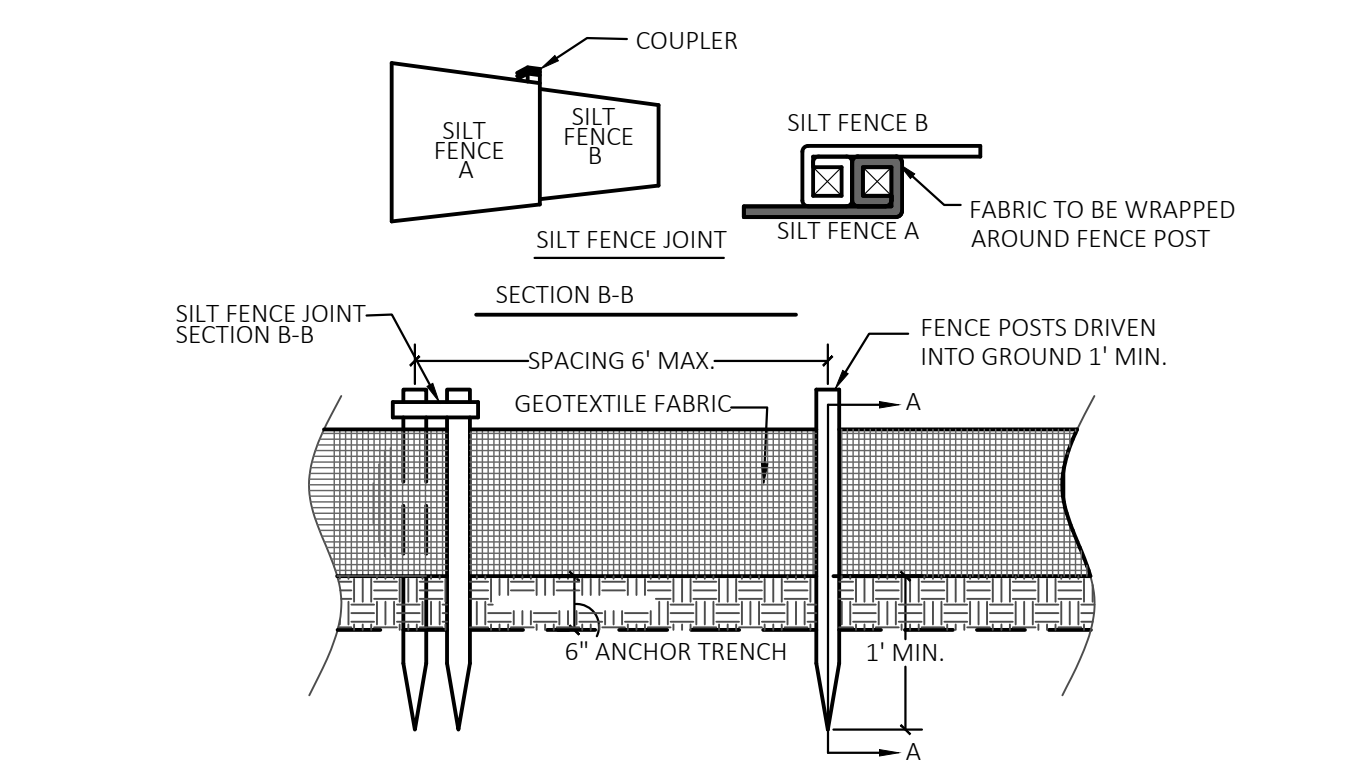
5 Tree Planting Detail
NOT TO SCALE



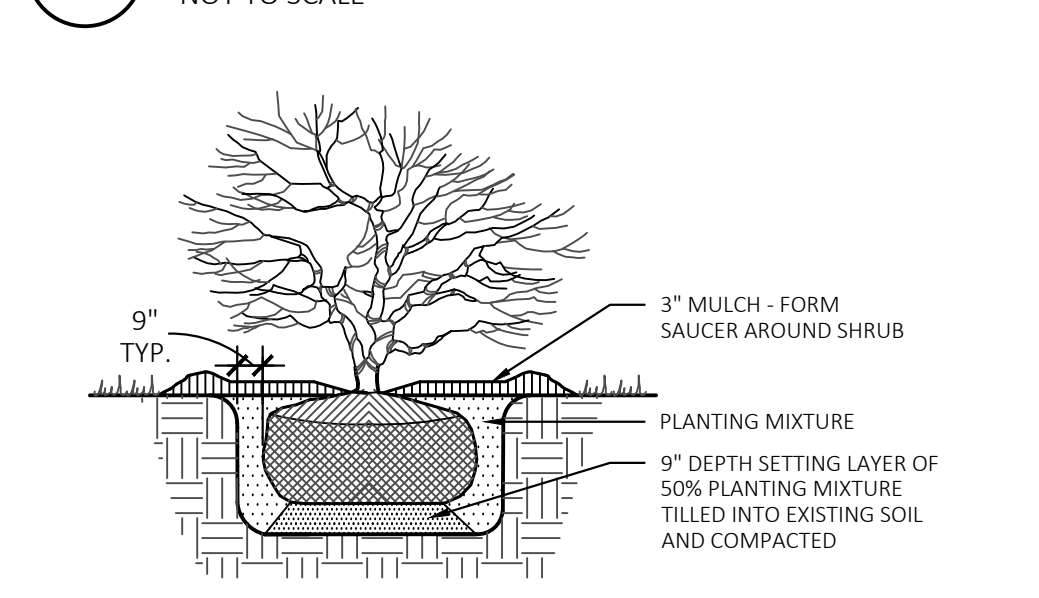
9 Asphalt Trail
NOT TO SCALE



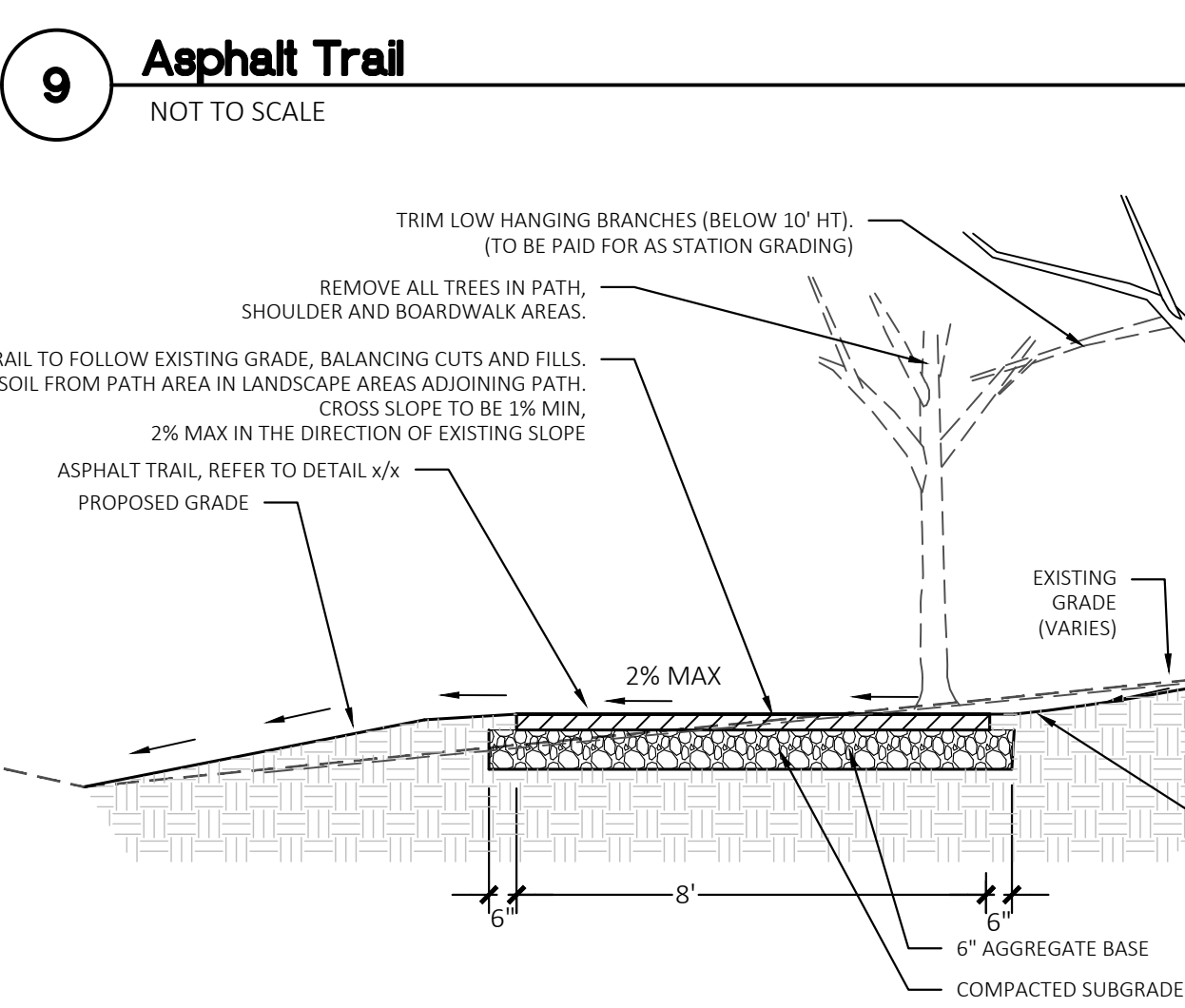
12 4' Concrete Paving
NOT TO SCALE



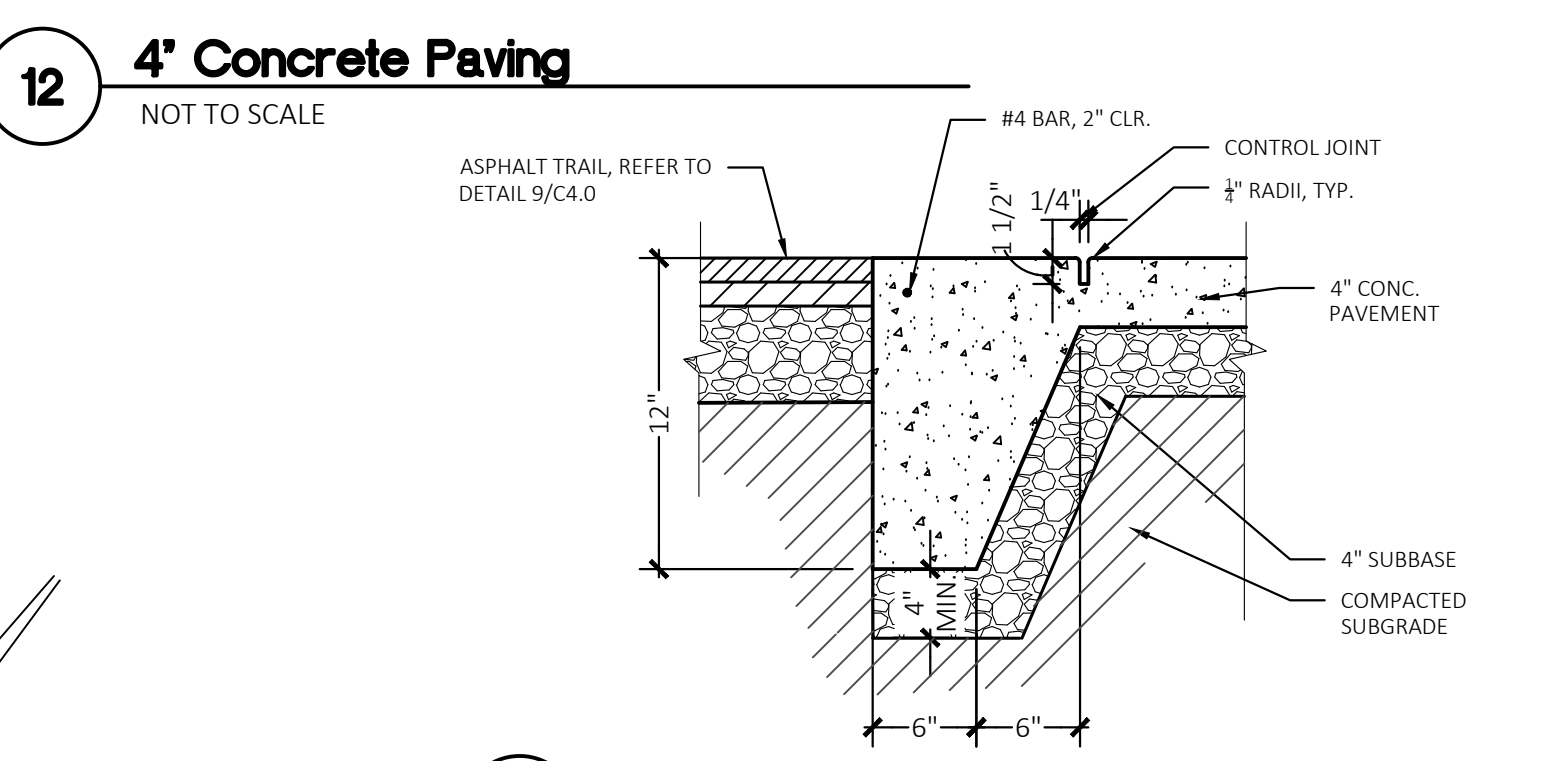
2 Silt Fence Detail
NOT TO SCALE



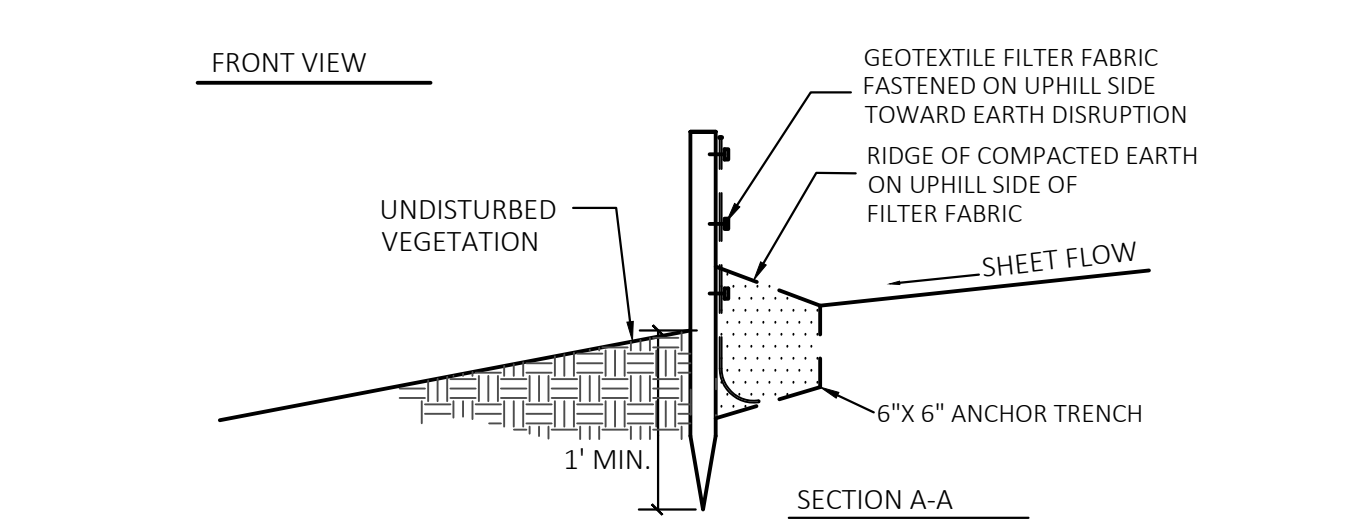
6 Shrub Planting Detail
NOT TO SCALE



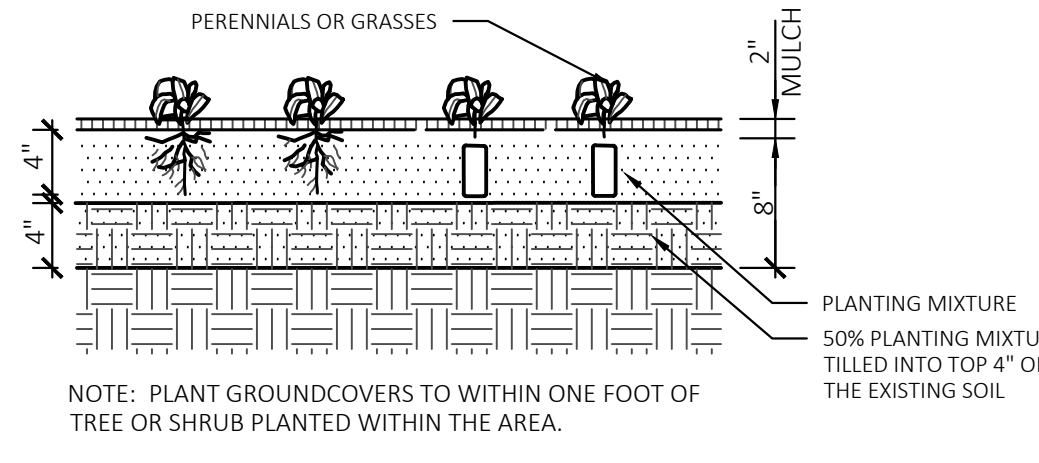
10 Asphalt Trail on Existing Grade
NOT TO SCALE



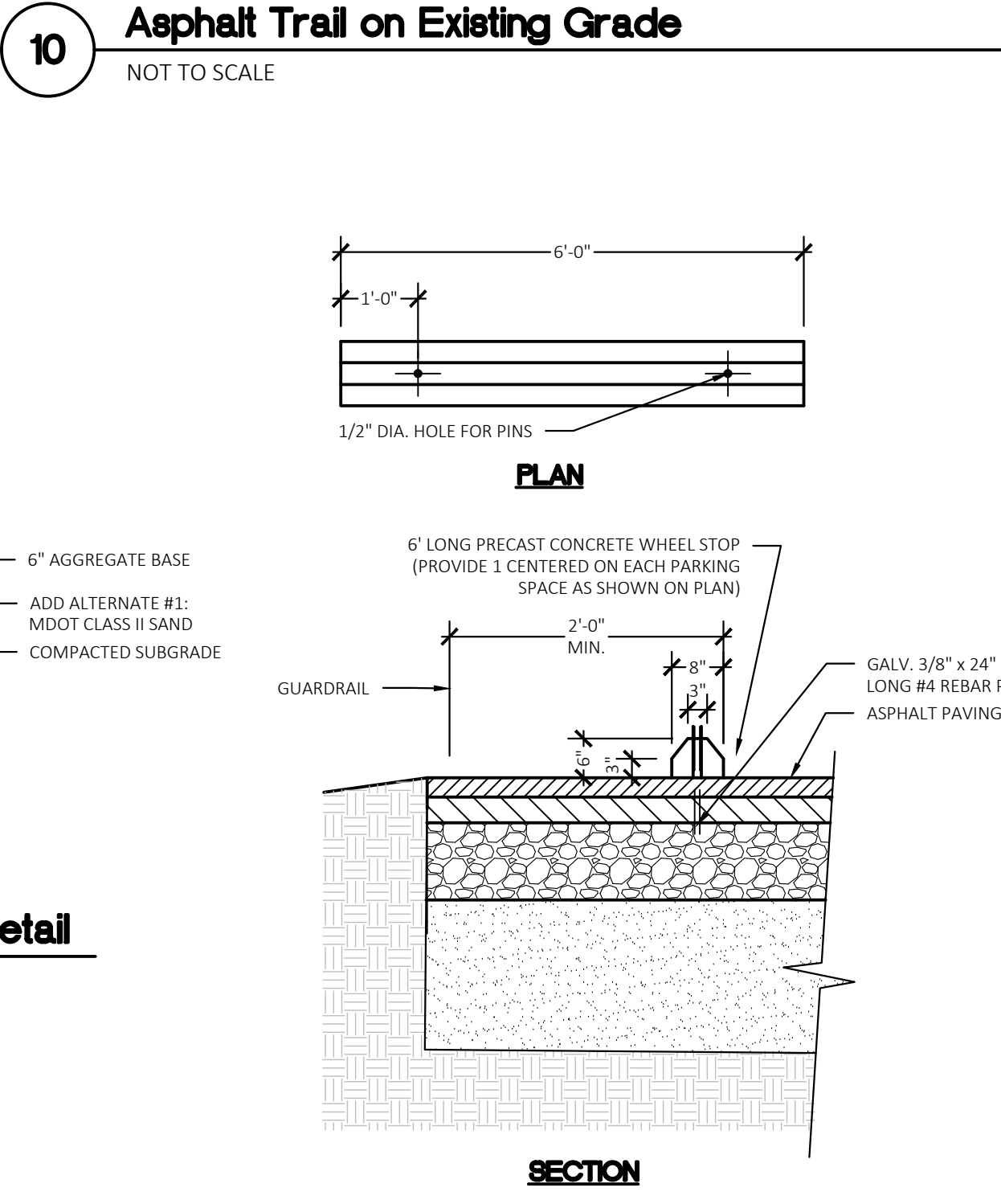
13 Section - Asphalt Pavement to Concrete
NOT TO SCALE



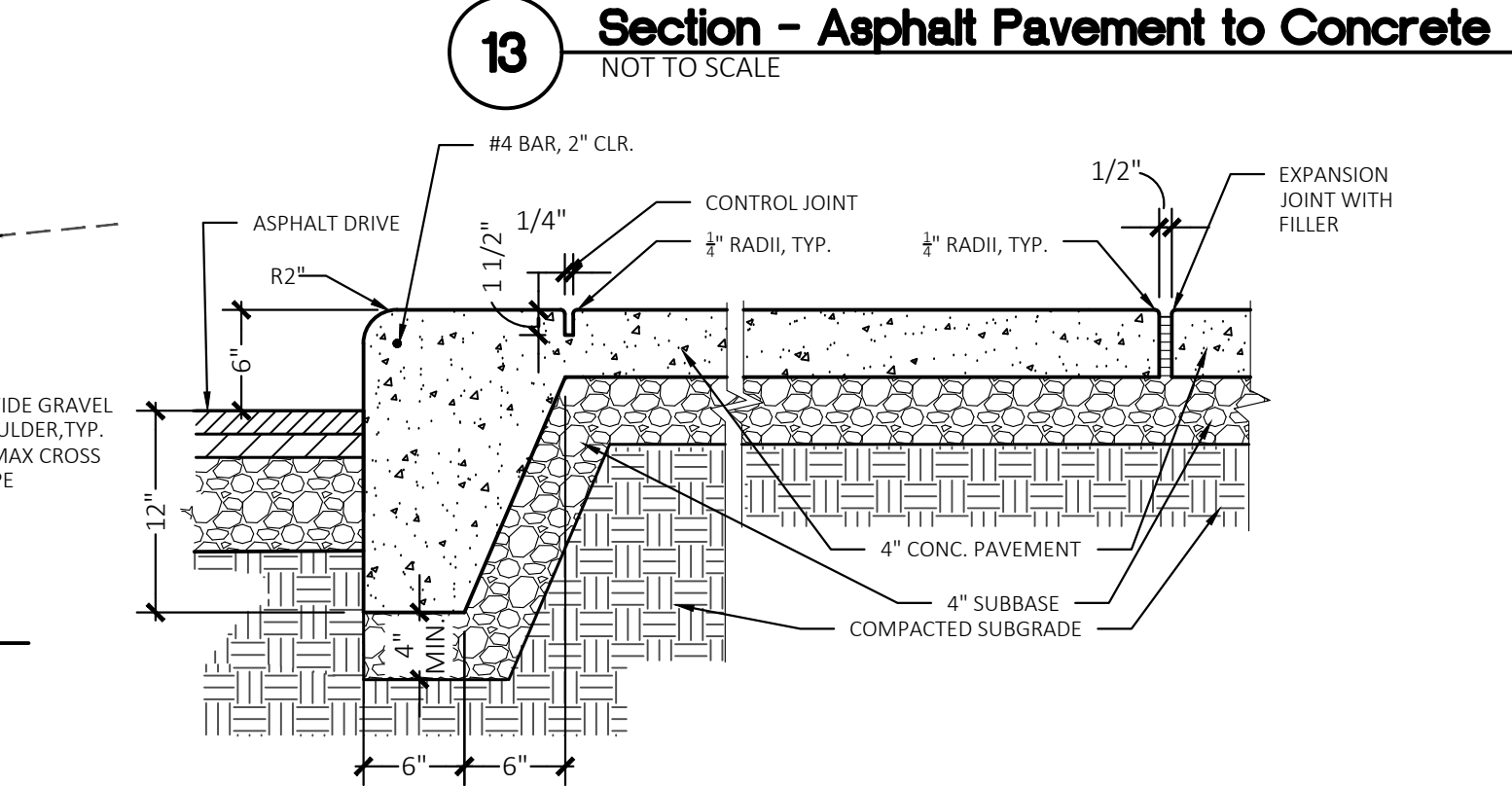
3 Barrier-Free Striping Detail
NOT TO SCALE



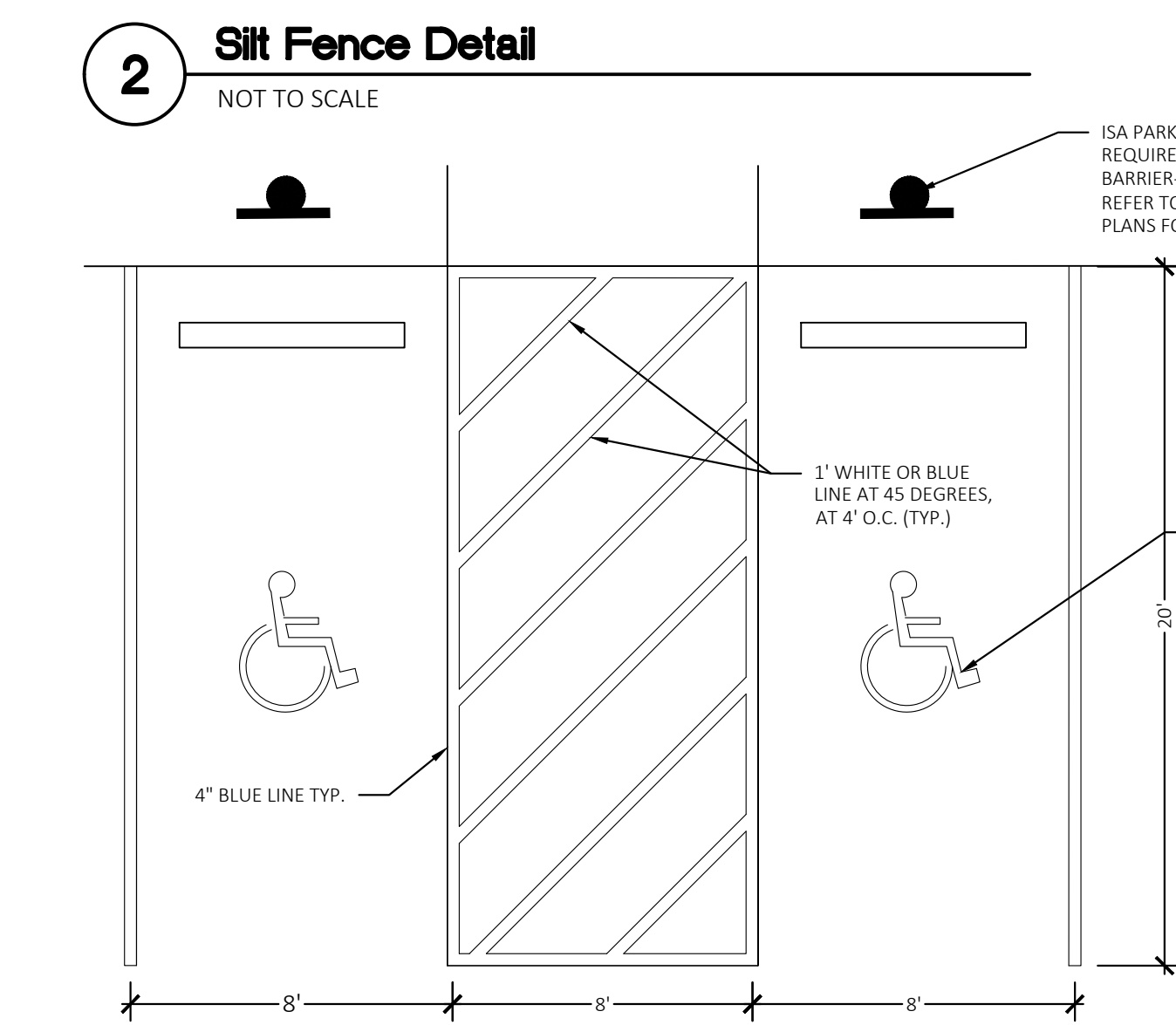
7 Upright Groundcover Planting
NOT TO SCALE



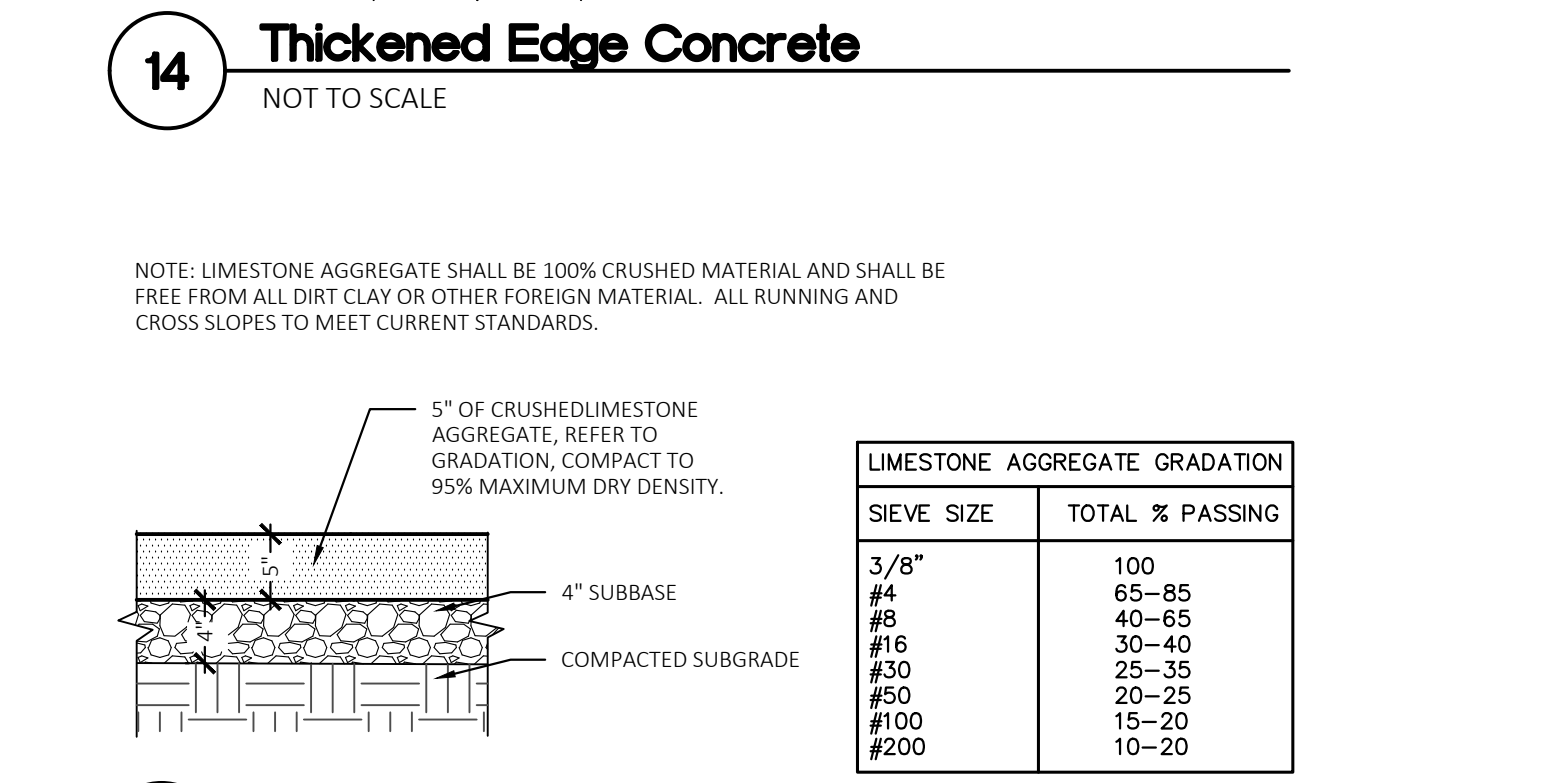
8 Asphalt Pavement - Moderate Duty Detail
NOT TO SCALE



14 Thickened Edge Concrete
NOT TO SCALE



4 Barrier Free Ramp (Type I) Detail
Not to Scale



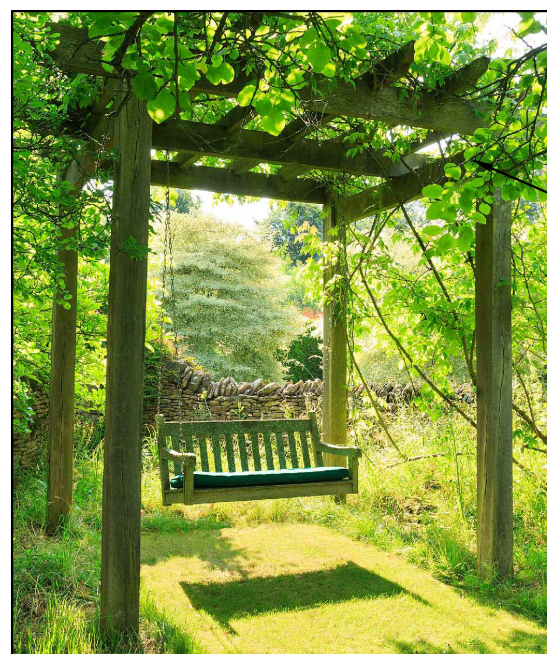
15 Crushed Stone Path
NOT TO SCALE

LIMESTONE AGGREGATE GRADATION	
SIEVE SIZE	TOTAL % PASSING
3/8"	100
#4	65-85
#8	40-65
#16	30-40
#30	25-35
#50	20-25
#100	15-20
#200	10-20

11 Concrete Wheel Stop Detail
NOT TO SCALE



1 Garden Fence
NOT TO SCALE



PERGOLA WITH 6' LENGTH SWING

2 Garden Swing
NOT TO SCALE



GARDEN TO INCLUDE THREE 5'X5'X5' COMPOST BOXES (TWO SHOWN)

3 Compost Enclosure
NOT TO SCALE



4 Rail Fence
NOT TO SCALE



5 Bench Type 1
NOT TO SCALE



6 Petra Seats
NOT TO SCALE



SCENIC SHELTERS - WOOD OPEN GABLE SHELTER, 20'X20' WITH 8' EAVE HEIGHT. WITH GLULAM TRUSSES AND COLUMN, TONGUE AND GROOVE ROF DECKING, CEDAR FASCIA, AND STONE COLUMN WRAPS

7 Shelter Model
NOT TO SCALE

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Hastings, Michigan
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Site Details

Job No. _____ Sheet No. _____

32514 C41

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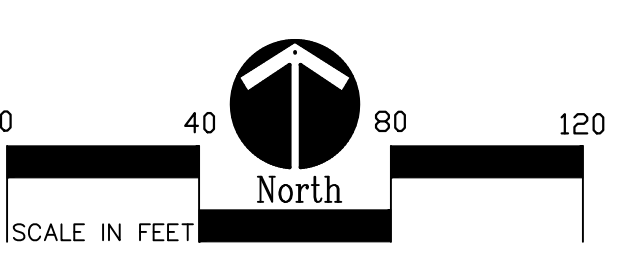
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Sheet Title _____

Landscape Plan



Job No. _____ Sheet No. _____

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	PROPOSED DECIDUOUS TREE	2 / L1.0
	PROPOSED EVERGREEN TREE	3 / L1.0
	PROPOSED SHRUB	4 / L1.0
	PROPOSED GRASSES	6 / L1.0
	PROPOSED GROUNDCOVER AND/OR PERENNIALS	6 / L1.0
	PROPOSED BED LINE/ METAL EDGING	5 / L1.0
	LIMIT OF WORK	
	PROPERTY LINE	
	ENLARGEMENT LIMIT LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

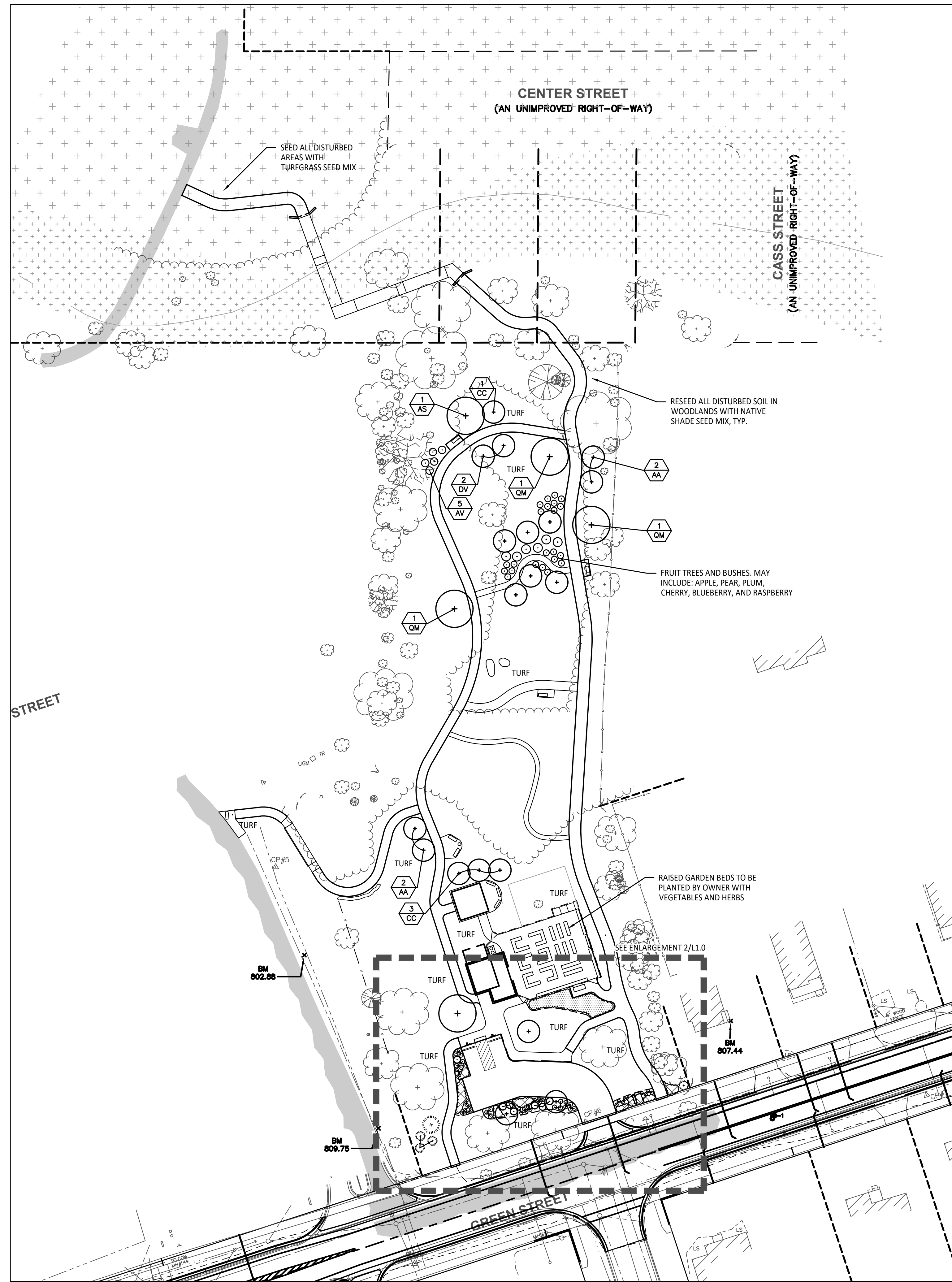
LANDSCAPE REQUIREMENTS:
187 LF FRONTAGE
4 CANOPY TREES REQUIRED, 4 EXISTING
5 EVERGREEN TREES REQUIRED
4 ORNAMENTAL TREES REQUIRED, 2 EXISTING, 2 PROVIDED
13 SHRUBS REQUIRED

LANDSCAPE NOTES:

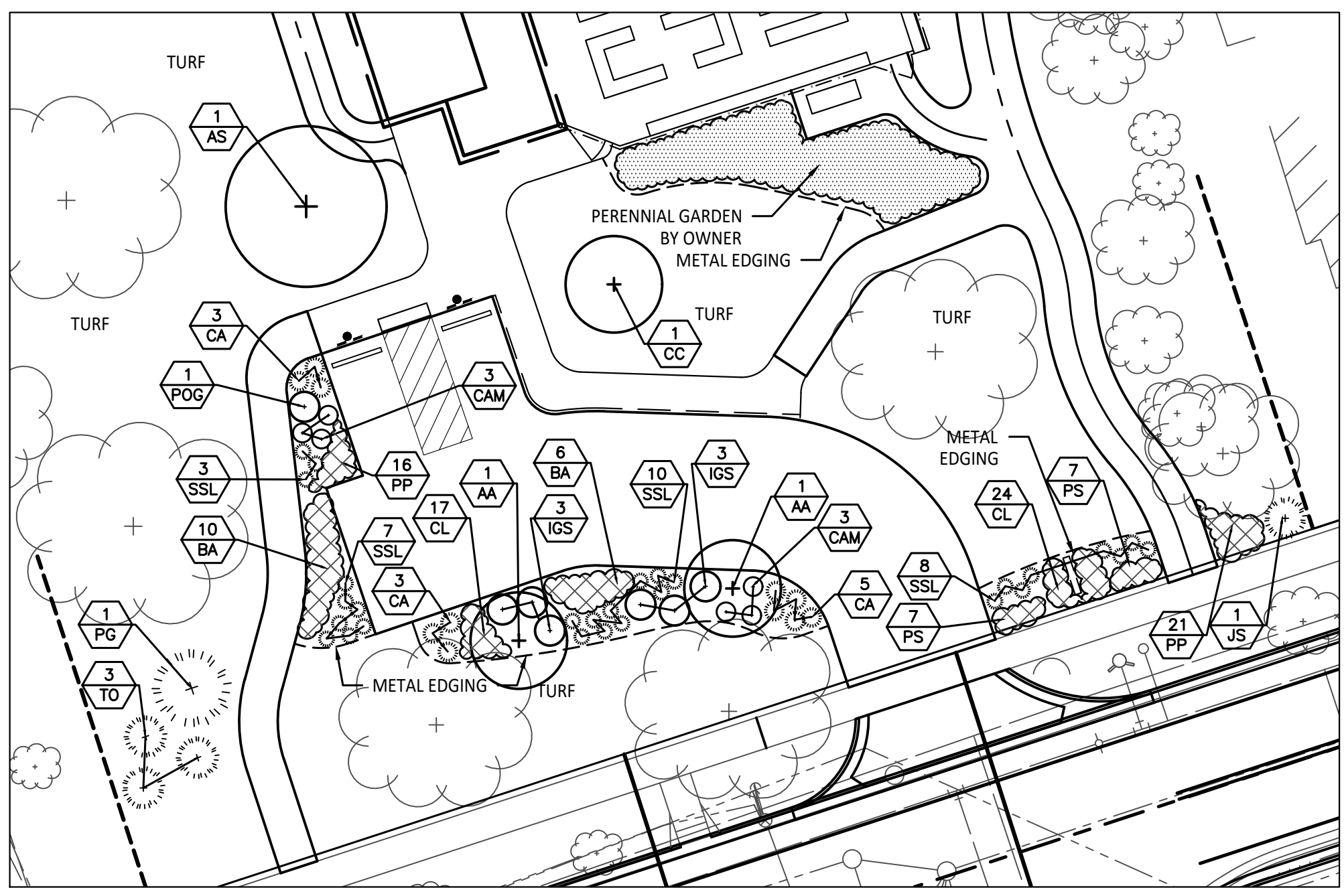
- SURVEY OF EXISTING CONDITIONS PROVIDED BY "PLEASE INSERT THE NAME, ADDRESS, AND PHONE NUMBER OF THE PROJECT SURVEYOR."
- CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
- IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
- PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
- UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
- REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
- SEE SHEET L1.1 FOR PLANT LISTS.
- SEE SHEET LXXV SEEDING PLAN FOR LIMIT OF SEEDING.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
- ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
- SEE IRRIGATION PLANS SHEETS IRR. FOR DETAILED IRRIGATION DESIGN.
- CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
- ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
- UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	STATUS
TREES	AA	Amelanchier alnifolia	Saskatoon Juneberry	2" CAL.	B&B	PER PLANS	NATIVE
	AS	Acer saccharum	Sugar Maple	2" CAL.	B&B	PER PLANS	NATIVE
	CC	Cercis canadensis	Eastern Redbud	2" CAL.	B&B	PER PLANS	NATIVE
	DV	Diospyros virginiana	American Persimmon	2" CAL.	B&B	PER PLAN	NATIVE
	QM	Quercus macrocarpa	Bur Oak	2" CAL.	B&B	PER PLANS	NATIVE
EVERGREEN	JS	Juniperus scopulorum 'Moonglow'	Emerald Green Arborvitae	7" HT.	B&B	PER PLANS	NATIVE
	PG	Picea glauca var. densata	Black Hills Spruce	7" HT.	B&B	PER PLANS	NATIVE
SHRUBS	CAA	Callicarpa americana	Beautyberry	#3	CONT.	5' O.C.	NATIVE
	CAM	Ceanothus americanus	New Jersey Tea	#3	CONT.	3' O.C.	NATIVE
	IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3	CONT.	3' O.C.	NATVAR
	POG	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	#3	CONT.	5' O.C.	NATVAR
GRASSES	CA	Carex appalachica	Appalachian Sedge	#1	CONT.	18" O.C.	NATIVE
	SSL	Schizachyrium scoparium Little Arrow 'Nonwrrar'	Little Arrow Little Bluestem	#1	CONT.	24" O.C.	NATVAR
PERENNIALS	BA	Baptisia australis	Blue False Indigo	#1	CONT.	36" O.C.	NATIVE
	CL	Coreopsis 'Red Satin'	Red Satin Threadleaf Coreopsis	#1	CONT.	18" O.C.	NATVAR
	PS	Phlox subulata "Creeping"	Creeping Phlox	#1	CONT.	24" O.C.	NATVAR
	PP	Penstemon pinifolius	Pineleaf Penstemon	#1	CONT.	18" O.C.	NATIVE



1 Landscape Plan
Scale: 1" = 40'-0"



2 Landscape Plan
Scale: 1" = 20'-0"

ELECTRICAL ABBREVIATION LIST

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
A	AMPERES	MAX	MAXIMUM
AF	AMPERES FRAME (BREAKER RATING)	MCB	MAIN CIRCUIT BREAKER
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MCC	MOTOR CONTROL CENTER
A.F.F.	ABOVE FINISH FLOOR	MDP	MAIN DISTRIBUTION PANEL
AIC	AMPS INTERRUPTING CAPACITY	MECH	MECHANICAL
AL	AUDIENCE LEFT	MIN	MINIMUM
AR	AUDIENCE RIGHT	MISC.	MISCELLANEOUS
AT	AMPERS TRIP (BREAKER SETTING)	MLO	MAIN LUGS ONLY
ATS	AUTOMATIC TRANSFER SWITCH	MTD	MCOUNTED
AUX	AUXILIARY	MTG	MCOUNTING
		MTR	MOTOR
BKR	BREAKER	N	NEUTRAL
BPS	BOLTED PRESSURE SWITCH	NC	NORMALLY CLOSED
C	CONDUIT	NEC	NATIONAL ELECTRICAL CODE
CB	CIRCUIT BREAKER	NF	NON-FUSIBLE
CKT	CIRCUIT	NIC	NOT IN CONTRACT
CT	CURRENT TRANSFORMER	NL	NIGHT LIGHT
		NO	NORMALLY OPEN
DEMO	DEMOLITION	NTS	NOT TO SCALE
DIM	DIMENSION	OC	ON CENTER
DISC	DISCONNECT	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
DP	DISTRIBUTION PANEL	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
DS	DOWNSTAGE	OFOI	OWNER FURNISHED, OWNER INSTALLED
DWG	DRAWING		
EBU	EMERGENCY BATTERY UNIT	P	POLE
EQ	ELECTRICAL CONTRACTOR	PB	PUSHBUTTON STATION
ELEC	ELECTRICAL	PH	PHASE
EM/EMERG	EMERGENCY	PT	POTENTIAL TRANSFORMER
EMT	ELECTRICAL METALLIC TUBING	PDP	POWER DISTRIBUTION PANEL
EO	ELECTRICALLY OPERATED		
EPO	EMERGENCY POWER OFF	RECEPT.	RECEPTACLE
EWC	ELECTRIC WATER COOLER	RCP	RECEPTACLE
EXIST	EXISTING	RDP	RECEPTACLE DISTRIBUTION PANEL
EXT	EXTERIOR	RP	RECEPTACLE PANEL
		RSC	RIGID STEEL CONDUIT
FA	FIRE ALARM		
FLA	FULL LOAD AMPS	SCHED	SCHEDULE
FLR	FLOOR	SW	SWITCH
FOH	FRONT OF HOUSE	SWB	SWITCHBOARD
FSEC	FOOD SERVICE EQUIPMENT	SWGR	SWITCHGEAR
FU	FUSE		
G/GRD/EG	GROUND	TB	TERMINAL BOX
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TELECOM	TELECOMMUNICATIONS
GFP	GROUND FAULT PROTECTION	TR	TAMPER RESISTANT
		TTP	TELEPHONE TERMINAL BACKBOARD
HQA	HAND-OFF-AUTO	TYP	TYPICAL
HP	HORSEPOWER		
HV	HIGH VOLTAGE	UNO	UNLESS OTHERWISE NOTED
HZ	HERTZ	US	UPSTAGE
IG	ISOLATED GROUND	V	VOLTS
JB	JUNCTION BOX	W	WIRE OR WATTS
		WG	WIRE GUARD
KV	KILOVOLT	WP	WEATHERPROOF
KVA	KILOVOLT - AMPERES	XPFR	TRANSFORMER
KW	KILOWATT	XP	EXPLOSION PROOF
KWH	KILOWATT - HOURS		
		(E)	EXISTING
LA	LIGHTING ARRESTOR	(R)	RELOCATED
LP	LIGHTING PANEL		
LDP	LIGHTING DISTRIBUTION PANEL		

ELECTRICAL SYMBOL LIST

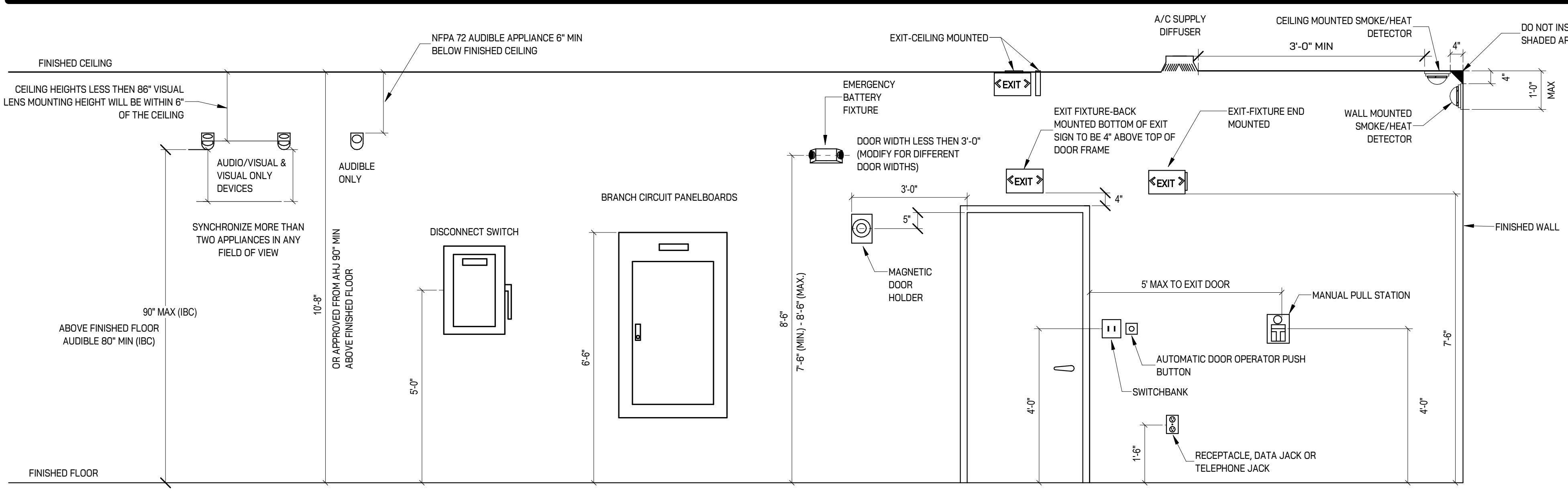
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	LIGHTING FIXTURE - ARCHITECTURAL TROFFER		CONTROL PANEL		SECURITY CAMERA		
	EMERGENCY LIGHTING FIXTURE		MOTOR		MOTION DETECTOR		
	LIGHTING FIXTURE - PENDANT		VARIABLE FREQUENCY DRIVE		SECURITY KEY SWITCH		
	WALL MOUNTED LIGHTING FIXTURE		MANUAL CONTROLLER		DOOR CONTACT		
	LIGHTING FIXTURE		MAGNETIC CONTROLLER		KEY PAD		
	LIGHTING TRACK OR ROPE LIGHT		COMBINATION MAGNETIC CONTROLLER		CARD READER		
	TRACK LIGHTING FIXTURE		NON-FUSIBLE DISCONNECT SWITCH		DURESS PUSH BUTTON STATION		
	POLE MOUNTED LIGHTING FIXTURE		FUSIBLE DISCONNECT SWITCH		DELAYED EGRESS		
	POLE MOUNTED LIGHTING FIXTURE - POST TOP		ENCLOSED CIRCUIT BREAKER		REQUEST TO EXIT STATION		
	BOLLARD LIGHTING FIXTURE		PUSH BUTTON STATION		CIRCUIT BREAKER		
	EMERGENCY LIGHTING UNIT		EMERGENCY POWER OFF BUTTON		DRAWOUT CIRCUIT BREAKER MANUALLY OPERATED		
	EXIT LIGHTING FIXTURE WITH DIRECTIONAL ARROWS (SHADED AREA INDICATES FACE)		AUTOMATIC DOOR CONTROLLER		SWITCH		
	EXIT LIGHTING FIXTURE WITH DIRECTIONAL ARROWS (SHADED AREA INDICATES FACE)		AUTOMATIC DOOR PUSH PAD OPERATOR		AUTOMATIC OR MANUAL TRANSFER SWITCH		
	EXIT LIGHTING FIXTURE - WALL MOUNTED		GROUND ROD		FUSE		
	GENERATOR TRANSFER DEVICE		GROUND CONNECTION		TRANSFORMER		
	LIGHTING CONTROL DEVICE - REFER TO LIGHTING CONTROL SCHEDULE		CONDUIT SLEEVE WITH BUSHINGS LENGTH AS REQUIRED "X" INDICATES CONDUIT SIZE		CURRENT TRANSFORMER		
	SINGLE POLE TOGGLE SWITCH		CONDUIT STUB - UP/DOWN, 2" CONDUIT UNLESS NOTED OTHERWISE		POTENTIAL TRANSFORMER		
	TWO POLE TOGGLE SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		LIGHTNING ARRESTOR		
	3 WAY TOGGLE SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		PANELBOARD "X" INDICATES PANELBOARD NAME		
	4 WAY TOGGLE SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		GROUND		
	KEY OPERATED SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		SECURITY KEY INTERLOCK		
	DIMMER SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		ENGINE GENERATOR		
	DIMMER OCCUPANCY SENSOR SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		UTILITY METER		
	LOW VOLTAGE DIMMER SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		AMMETER		
	PILOT SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		VOLTMETER		
	TOUCH SCREEN SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		AMMETER SWITCH		
	OCCUPANCY SENSOR DEVICE - CEILING		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		VOLTMETER SWITCH		
	OCCUPANCY SENSOR DEVICE - WALL		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		SURGE PROTECTIVE DEVICE		
	PHOTOCELL DEVICE - REFER TO ZONES SHOWN ON PLANS		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		TIME DELAY RELAY		
	REMOTE GENERATOR ANNUNCIATOR PANEL		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		THERMAL OVERLOAD RELAY		
	AUTOMATIC TRANSFER SWITCH		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		NORMALLY OPEN CONTACTS		
	GROUND BUS		EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		NORMALLY CLOSED CONTACTS		
			EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		N.O. PUSH BUTTON SINGLE CIRCUIT		
			EMPTY BOX FOR FUTURE TELECOMMUNICATION OUTLET MOUNTED 4" ABOVE COUNTERTOP		N.C. PUSH BUTTON SINGLE CIRCUIT		

ELECTRICAL SPECIFICATION

- CONTRACTOR TO PROCURE ALL REQUIRED BUILDING PERMITS AND INSPECTIONS TO COMPLETE PROJECT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MICHIGAN ELECTRICAL CODE.
- PROVIDE NEW ELECTRICAL SERVICES FROM CONSUMERS ENERGY AS INDICATED. COORDINATE SCOPE OF WORK AND PROVIDE ALL WORK TO PROVIDE A FULLY FUNCTIONAL ELECTRICAL SERVICE.
- REMOVE ALL ELECTRICAL EQUIPMENT, WIRE, CONDUIT, ETC ASSOCIATED WITH DEMOLISHED EQUIPMENT.
- REMOVE ALL ABANDONED ELECTRICAL CONDUIT AND WIRE BACK TO SOURCE.
- PROVIDE SHOP DRAWINGS FOR THE FOLLOWING:
 - CONDUIT.
 - CONDUCTORS.
 - WIRING DEVICES INCLUDING COVERPLATES.
 - DISCONNECT SWITCHES, ENCLOSED CIRCUIT BREAKERS AND FUSED SWITCHES.
 - PANELBOARDS, AND SWITCHBOARDS
 - TRANSFORMERS.
 - SURGE PROTECTION DEVICES
 - POWER METERS.
 - INTERIOR LIGHT FIXTURES.
 - EXTERIOR LIGHT FIXTURES INCLUDING SITE POLES.
 - LIGHTING CONTROL SYSTEM AND DEVICES.
 - FIRE ALARM SYSTEM.
- PATCH, REPAIR, AND PAINT ANY OPENINGS THROUGH ROOF, CEILINGS, WALLS, OR FLOORS TO MATCH EXISTING CONDITION.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL DEMOLISHED EQUIPMENT.
- PROVIDE LAMACOID LABELS FOR:
 - PANELBOARDS AND SWITCHBOARDS.
 - TRANSFORMERS.
 - DISCONNECT SWITCHES.
 - VARIABLE FREQUENCY DRIVES.
 - LIGHTING CONTROL PANELS. LABEL SHALL INDICATE ROOMS CONTROLLED.
- MINIMUM CONDUIT SIZE SHALL BE 1/2" TRADE SIZE.
- USE THE CONDUIT TYPE SUITABLE FOR THE ENVIRONMENT IN WHICH IS IS LOCATED.
 - INDOORS: EMT WITH SET SCREW FITTINGS. MC CABLE IS ACCEPTABLE FOR BRANCH CIRCUITS WHERE CONCEALED.
 - OUTDOORS: RIGID GALVANIZED STEEL.
 - UNDERGROUND: RIGID NON METALLIC SCHEDULE 80 PVC.
 - CONDUIT EXITING FROM UNDERGROUND SHALL TRANSITION TO EMT/RGS PRIOR TO BEING EXPOSED.
- PROVIDE CONDUIT SLEEVES FOR LOW VOLTAGE DATA CABLING.
- ALL CABLING SHALL BE IN CONDUIT UNLESS ABOVE AN ACCESSIBLE CEILING WHERE "J" HOOKS ARE ACCEPTABLE.
- USE CONDUIT SWEEPS FOR ALL DATA CABLING CONDUITS.
- DATA BOXES SHALL BE DOUBLE GANG, 3 1/2" DEEP WITH SINGLE GANG MUD RING WITH 1" CONDUIT TO ABOVE ACCESSIBLE CEILING.
- ALL BOXES SHALL BE RECESSED IN WALLS AND CONDUIT CONCEALED WHERE POSSIBLE.
- EMERGENCY CIRCUITS SHALL NOT BE IN CONDUIT WITH OTHER NON-EMERGENCY CIRCUITS.
- MINIMUM CONDUCTOR SIZE FOR POWER SHALL BE #12 AWG. ANY BRANCH CIRCUITS OVER 100' IN LENGTH SHALL BE #10 AWG MINIMUM FOR VOLTAGE DROP.
- PROVIDE THHN-2 COPPER INDORS AND THWN-2 COPPER OUTDOORS, UNLESS NOTED OTHERWISE OR DICTATED OTHERWISE BY THE NEC.
- PROVIDE GROUNDING ELECTRODE SYSTEM AND EQUIPMENT GROUNDING PER THE NATIONAL ELECTRIC CODE.
- PANELBOARDS SHALL BE FULLY RATED, SERIES RATED PANELS ARE NOT ACCEPTABLE. HAVE HINGED SWING DOOR-IN-DOOR. LOAD CENTERS ARE NOT ACCEPTABLE. SQUARE D NQDD OR EQUAL FOR 208/120V BRANCH PANELBOARDS. SQUARE D NF OR EQUAL FOR 480/277V PANELBOARDS. PROVIDE TYPED PANELBOARD CIRCUIT LABEL CARDS. UPDATE ALL EXISTING LABEL CARDS AS REQUIRED.
- SURGE PROTECTION DEVICES SHALL BE MOUNTED AS CLOSE TO MAIN BUS AS POSSIBLE TO LIMIT FEEDER LENGTH.
- ALL FLOOR MOUNTED EQUIPMENT SHALL BE ON 4" HOUSEKEEPING PAD.
- RECEPTACLES SHALL BE TAMPER-RESISTANT EXTRA HEAVY DUTY GRADE, 20AMP MINIMUM. WHITE IN COLOR UNLESS NOTED OTHERWISE.
- ALL DEVICE COVERS SHALL MATCH DEVICE COLOR UNLESS STAINLESS STEEL COVERS ARE SPECIFIED.
- WEATHERPROOF RECEPTACLE COVERS SHALL BE METAL, WHILE-IN-USE TYPE.
- SWITCHES SHALL BE HEAVY DUTY GRADE, 20 AMP, QUIET TYPE, WHITE UNLESS NOTED OTHERWISE.
- LIGHTING CONTROL DEVICES SHALL BE MANUFACTURED BY N-LIGHT, UNLESS NOTED OTHERWISE.
- ALL LIGHTING CONTROLS SHALL BE MEET ASHRAE 90.1 - 2013 WITH MICHIGAN AMENDMENTS.
- IT IS UNDERSTAND AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.

NOTE: SOME SYMBOLS AND ABBREVIATIONS SHOWN MAY NOT APPLY TO THIS PROJECT.

ELECTRICAL DEVICE TYPICAL MOUNTING HEIGHTS



- NOTES:**
- INSTALL ELECTRICAL DEVICES AT MOUNTING HEIGHTS NOTED ABOVE UNLESS OTHERWISE NOTED ON PLANS. COORDINATE WITH ALL OTHER DISCIPLINES PRIOR TO INSTALL.
 - VISUAL MOUNTING APPLIANCE MOUNTING HEIGHT IN SLEEPING ROOMS:
 - MINIMUM DISTANCE IN SLEEPING ROOMS IS 24" FROM CEILING TO THE TOP OF LENS FOR 110cd STROBES WITHIN 18' OF PILLOW
 - 177cd STROBES, USED IN SLEEPING ROOMS, CAN BE WITHIN THE 24" MINIMUM DISTANCE FROM THE CEILING, THE HIGHER INTENSITY IS TO COMPENSATE FOR A POSSIBLE SMOKE LAYER



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Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design

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Issued For: _____ Date _____

Project: **Pennock Gardens**

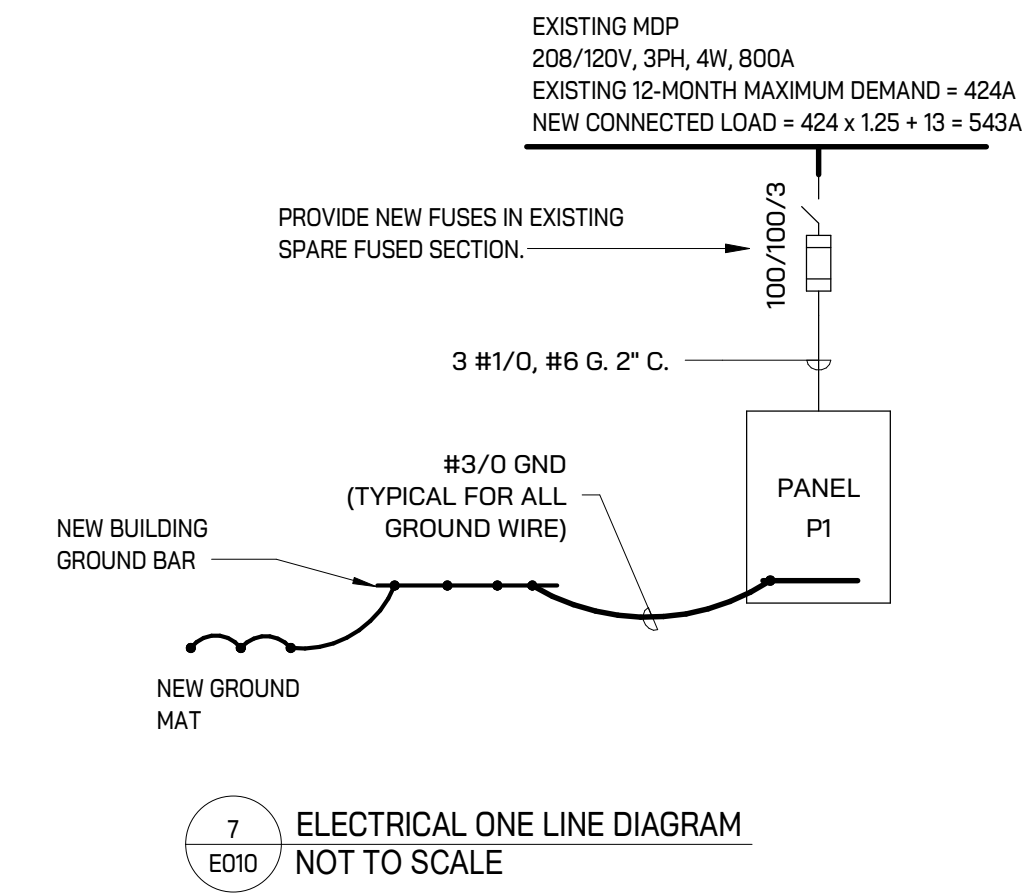
Hastings, Michigan
Sheet Title _____

ELECTRICAL SYMBOLS AND GENERAL NOTES

Job No _____ Sheet No _____

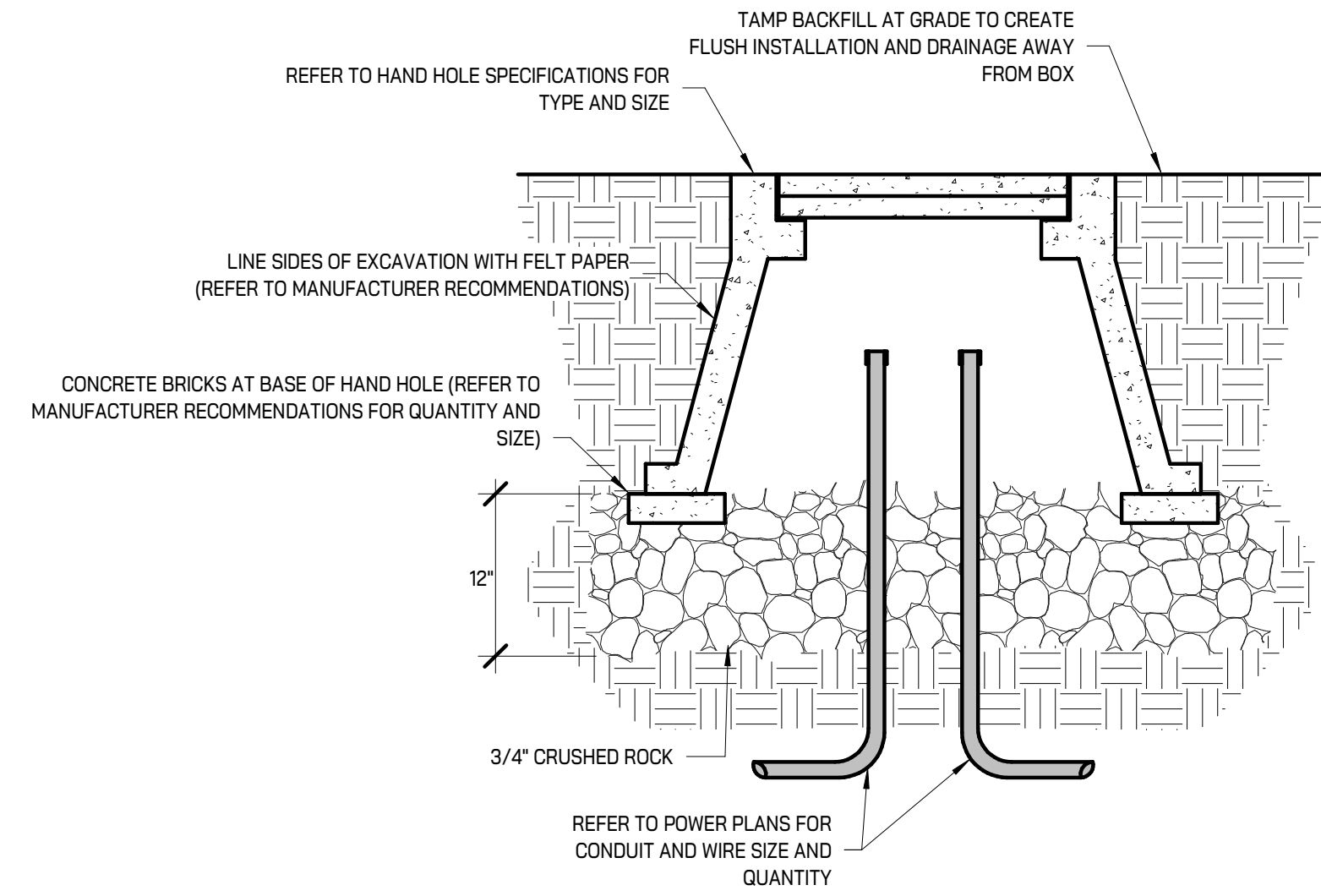
ELECTRICAL SITE KEYED NOTES

- 1 PROVIDE MECHANICAL TIME CLOCK FOR EXTERIOR LIGHTING. TIME CLOCK SHALL HAVE TWO CIRCUITS, EACH RATED AT 30-AMPS.

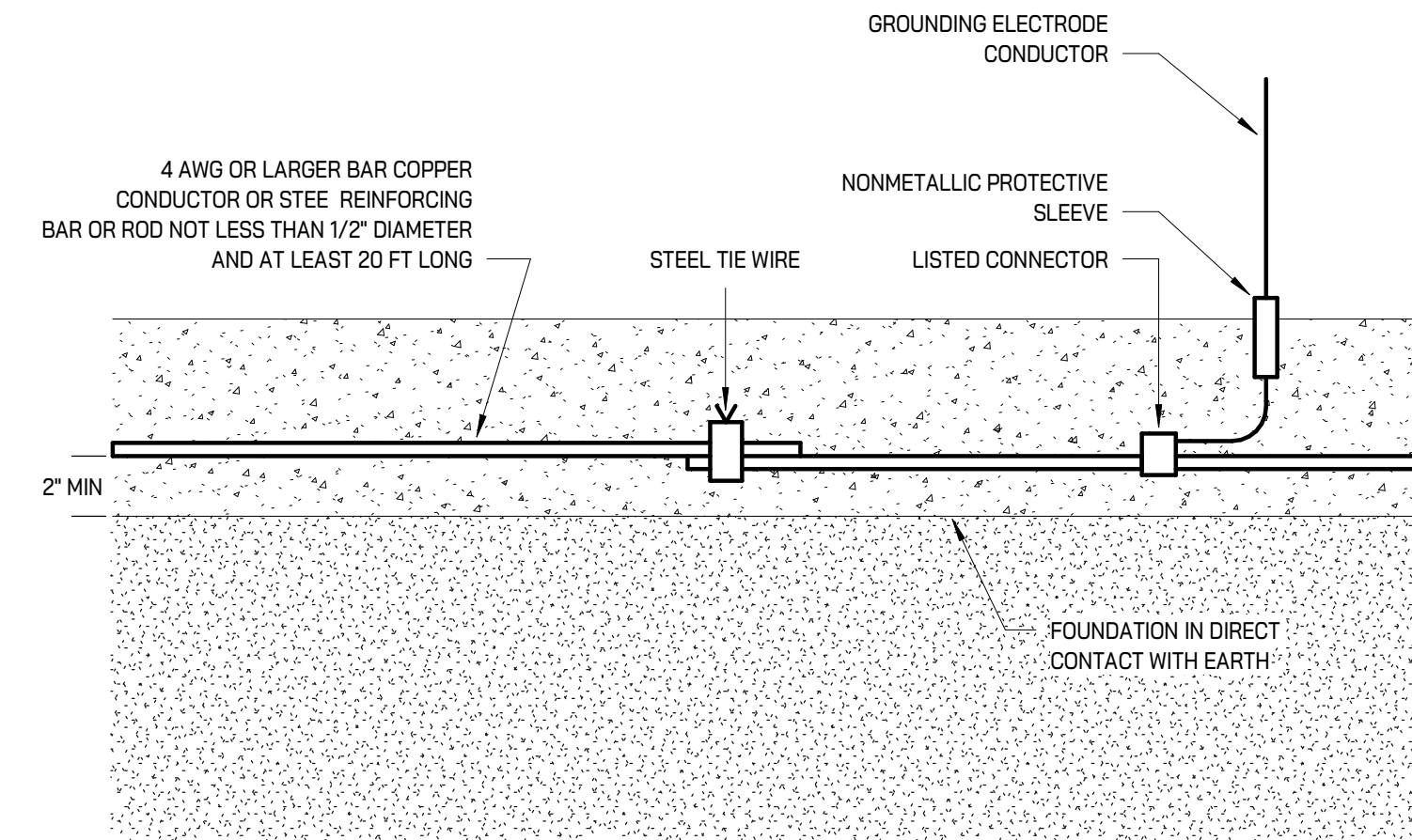


7 ELECTRICAL ONE LINE DIAGRAM
NOT TO SCALE

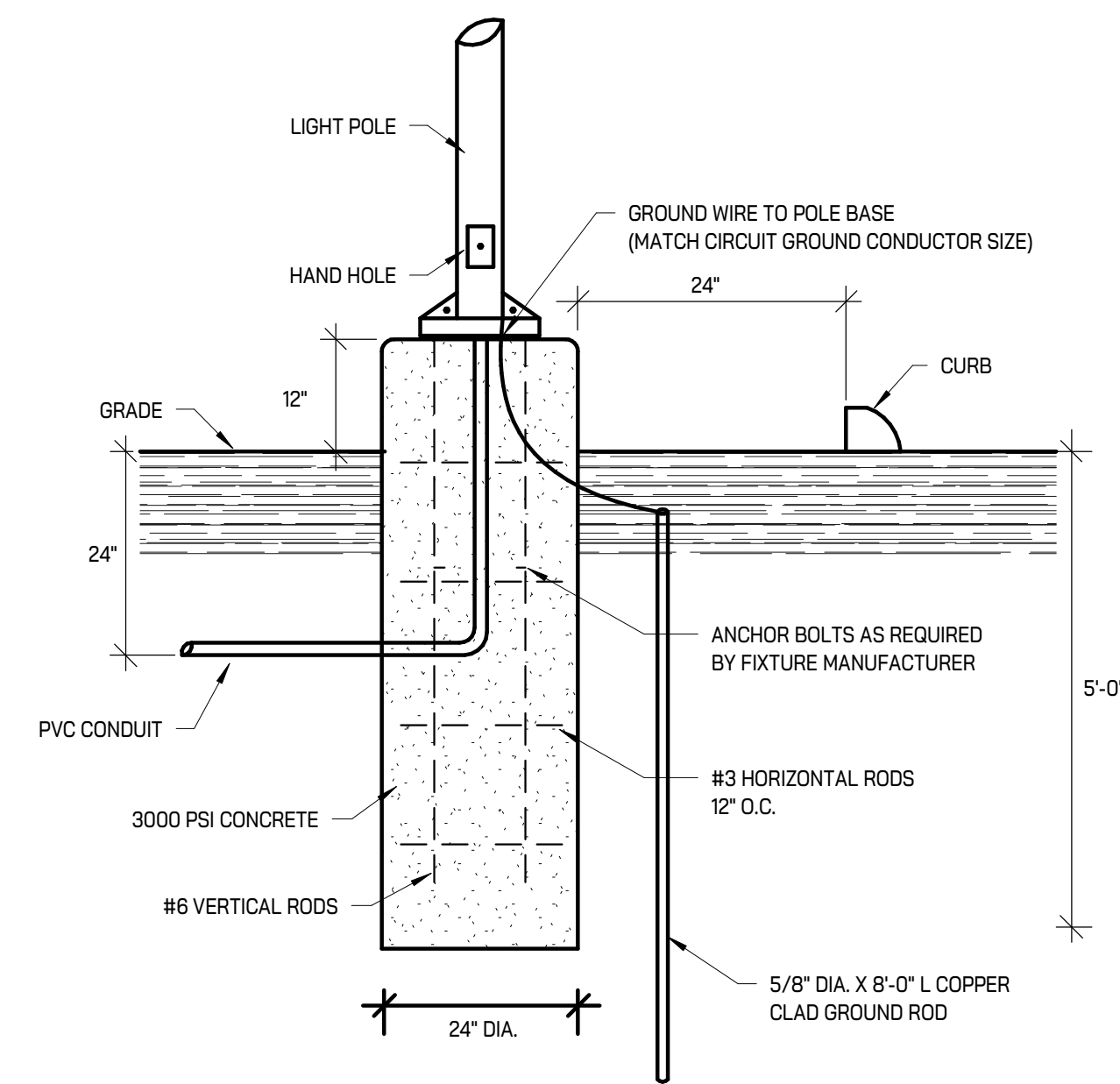
LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	DRIVER	LOAD		MANUFACTURER
A	INDUSTRIAL	CABLE	NA	45 VA	KEANLL: #MLHAS-48-F-MW-PP-4SL40K-DCC-DV-DL-PH	
B	WALL SCONCE	SURFACE	NA	10 VA	VISUAL COMFORT: #SLO1181EN3/TXB	
SA	SITE LIGHT	16' POLE	NA	86 VA	LITHONIA: #RADPTLED-P4-40K-SYM-120-PT4-DNATXD PROVIDE WITH POLE #RSS-16-48-PT-DBXD-DNATXD	



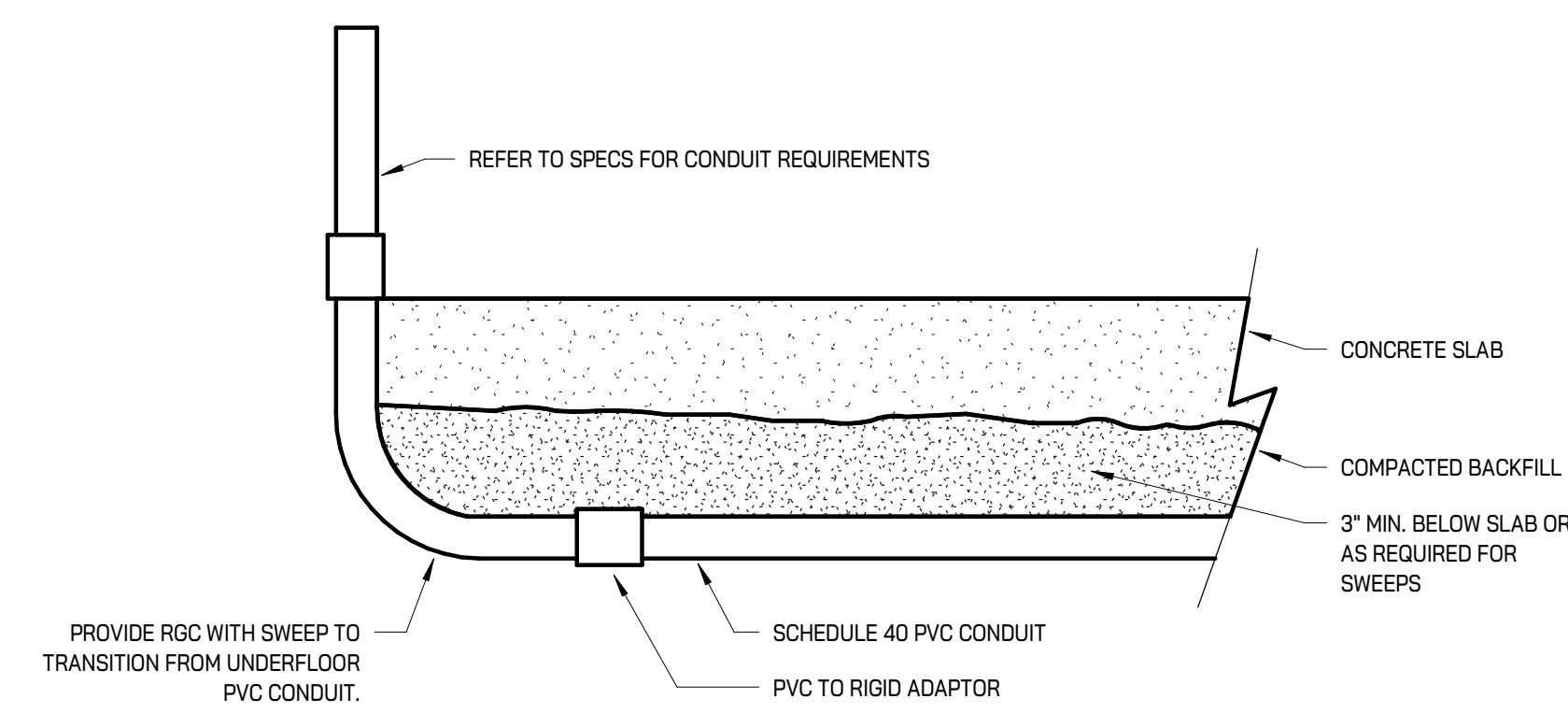
3 TYPICAL HAND HOLE DETAIL
NOT TO SCALE



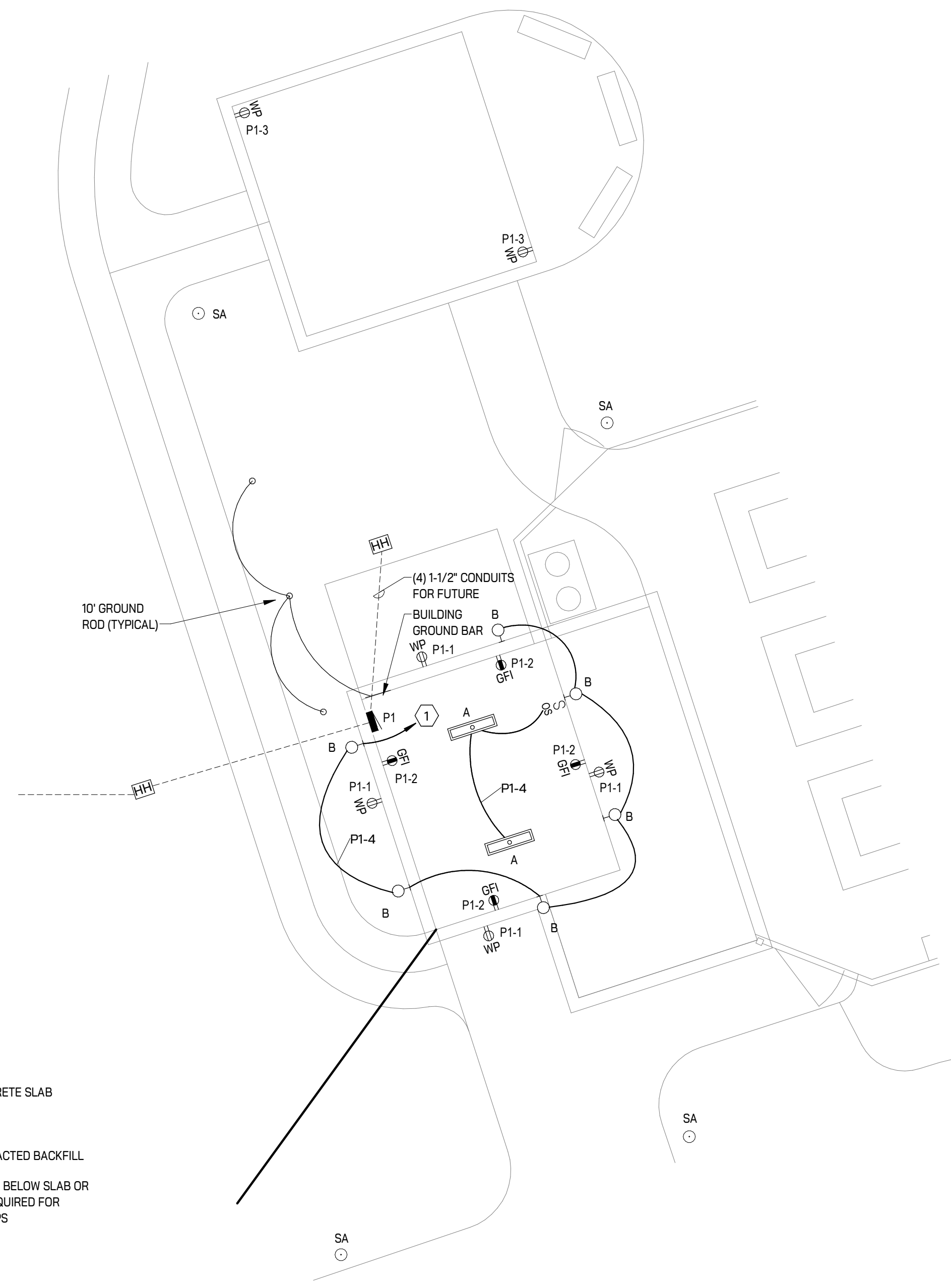
6 CONCRETE ENCASED ELECTRODE DETAIL
NOT TO SCALE



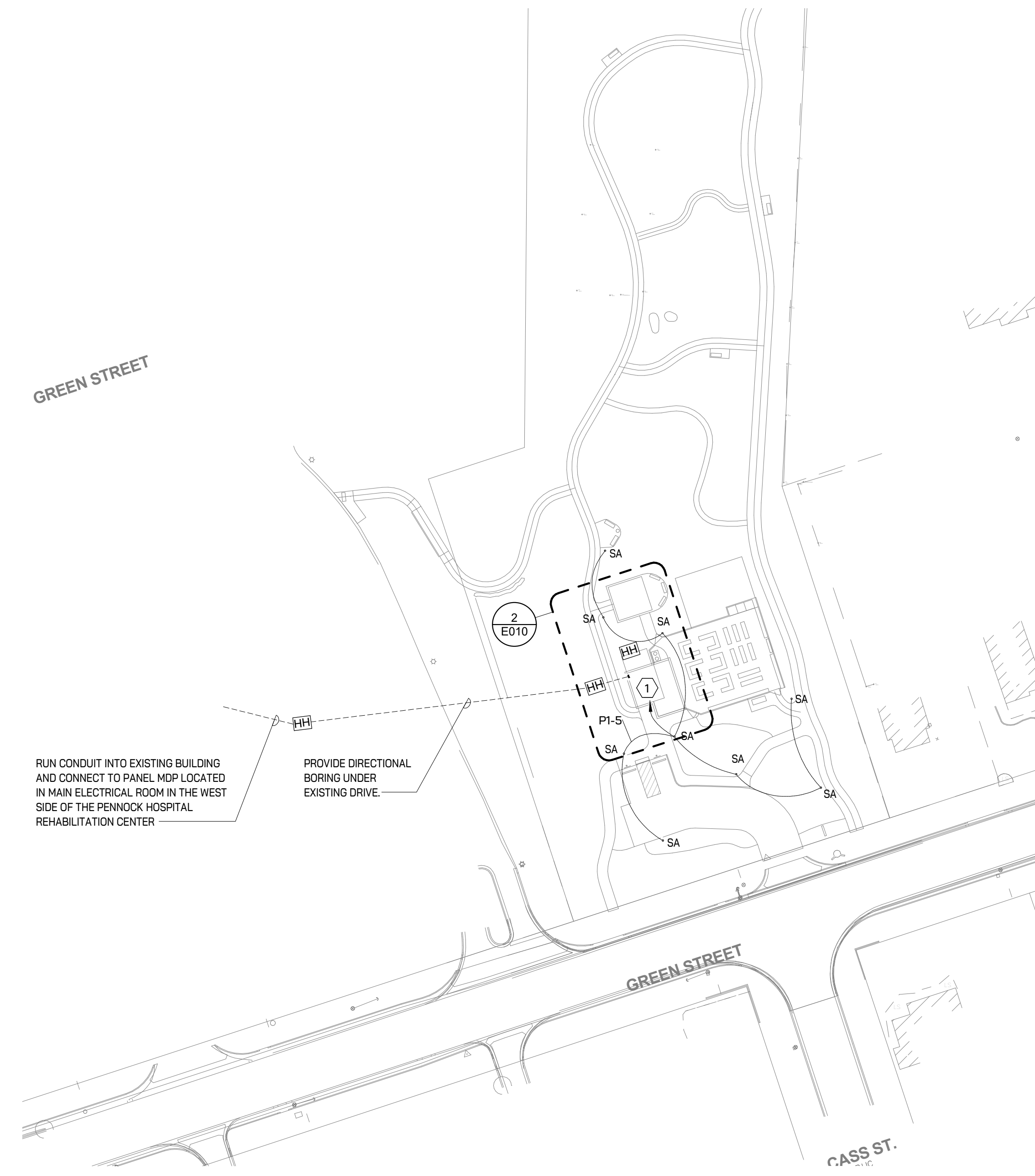
4 TYPICAL SITE LIGHT POLE BASE DETAIL
NOT TO SCALE



5 UNDERFLOOR CONDUITS IN SLAB ON GRADE INSTALLATION
NOT TO SCALE



2 ENLARGED ELECTRICAL PLAN
1/8" = 1'-0"



1 ELECTRICAL SITE PLAN
1" = 50'-0"

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Issued For: _____ Date _____
SITE PLAN REVIEW 4-10-2026

Project:
Pennock Gardens

Hastings, Michigan
Sheet Title

ELECTRICAL SITE PLAN

Job No _____ Sheet No _____

26.023

E010

City of Hastings
Planning Commission
Work Tasks for 2026
STATUS REPORT FOR MAY 2026

1. Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width.
2. Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan. **Planning Consultant Harvey to provide recommendation.**
3. Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2025.
4. Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
5. Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
6. Review landscape buffer requirements between multiple family zones and the B-1 district for waste of developable space. Master Plan action item.
7. Review Article 90-VII Planned Unit Development for complete amendment consideration.
8. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements. **Refer to Housing Committee for discussion.**
9. Review text regarding multi-family dwellings for possible modification. Master Plan action item.
10. Review and consider text amendments to Section 90-835 (d) regarding the keeping of chickens per the City Council’s referral.

11. Review Master Plan for five-year update.

Items highlighted in **green** are currently under consideration by the Planning Commission.

Items highlighted in **yellow** are currently under consideration by the Housing Committee.

Items highlighted in **red** require no further action at this time.

**PLANNING COMMISSION WORK TASK LIST ITEM RANKING OF PRIORITIES
CONDUCTED MARCH 13, 2026**

RANK	WORK TASK LIST
1	Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width
NA	Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan. Planning Consultant Harvey to provide recommendation
2	Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2025.
1	Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
3	Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
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4	Review and consider text amendments to Section 90-835 (d) regarding the keeping of chickens per the City Council’s referral.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowtone Mobile Home Park 1812 Lavender Drive Maintenance Building	1.13.22	1.13.22	1.13.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
420 E Mill Street PUD 328 and 420 E. Mill Street	5.30.23	5.31.23	5.31.23	Approved	24.5 units/acre 40 ft building height 5 feet front setback 30 ft building separation Delineation of phased development Lighting, landscaping, building exterior to be approved administratively. Acceptance of parking lot/100 yr FP DPS and Fire approval.	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Woodlawn Meadows Retirement Village II 1813 N. East Street	9.17.24	9.17.24	11.04.24	Approved	<p>The modified lot sizes (7,700 sq ft - 18,000 sq ft) and lot widths (56-66 ft) are approved as proposed and the ordinance authorizing the proposed PUD will list the modified requirements</p> <p>The zoning notes of the Final Development Plan will reflect the R-1 lot width requirements</p> <p>The 25-foot front, and 25-ft rear, and 15/6 foot side setbacks are approved as proposed and the ordinance for the proposed PUD will list the modified requirements</p> <p>Proposed extension of East Street as private road with 28 feet width and rolled curb. Stormwater management plan, utility system, and private street extension approved by City</p> <p>Master Deed and PUD conform to S/C</p>	
Bachman Fields 900 Bachman Road	2.11.25	2.11.25	4.7.25	4.7.25	Several. See draft ordinance	
Terry Dennison 220 W. Colfax	4.9.25	4.9.25	5.5.25	5.5.25	<p>Proposed plan for refuse disposal</p> <p>Lighting plan</p> <p>Landscape plan</p>	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plans and prints to staff	PC Agenda Date	PC Decision	Conditions for Completion	COI
Broadmoor Motors 1504 S Hanover	8.11.25	8.11.25	9.2.25	9.2.25	Lighting Plan Landscaping plan Parking Space and Locations	
Kevin Anderson 148 E State St	9.4.25	9.4.25	10.6.25	10.6.25	Administrative Review of Façade Materials	
St. Rose of Lima Church 805 S. Jefferson	10.14.25	10.14.25	11.3.25	11.3.25	Compliance with height and lot coverage Compliance with setback requirements Additional tree plantings on east side Compliance with drive/parking design	
Family Farm and Home 760 W. State Street	3.13.25	3.13.25	4.6.26	4.6.25	Written verification from property owner acknowledging Food Truck Park approval ZA contact regarding pedestrian safety and merchandise display. **	

** Zoning Administrator Jerry Czarnecki administratively approved outside display of merchandise per letter dated June 30, 2020.

