

HASTINGS PLANNING COMMISSION A G E N D A

Monday July 3, 2023

- 1. Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
- 2. Pledge of Allegiance**
- 3. Approval / additions / deletions to agenda**
- 4. Approval of Minutes** June 5, 2023 Draft Meeting Minutes of the Planning Commission *
- 5. Informative Items:** None
- 6. Public Hearings:**
 - A. Public hearing to review and consider final site plan and PUD for 420 E Mill Street LLC *
- 7. New Business:**
 - A. Preliminary site plan review for Meadowstone Apartments III, LLC at 710 Barfield Drive. *
- 8. Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2023 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
- 9. Open Public Discussion and Comments**
- 10. Staff Comments**
- 11. Commissioner Comments**
- 12. Adjourn**

*Indicates attachment

CITY OF HASTINGS

DRAFT PLANNING COMMISSION MEETING MINUTES

June 5, 2023

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: Chelsey Foster, David Hatfield, Nichole Lyke, Tom Maurer, Sarah Moyer-Cale, and Dave Tossava. Members absent: Lois Bowers, Jordan Brehm, and Jacquie McLean.

Call to Order

Also present: Community Development Director Dan King, Planning Consultant Rebecca Harvey, DPS Director Tate, and Interim Fire Chief Krouse.

It was MOVED by Tossava and SECONDED by Maurer to approve the agenda as presented. All members present voting yes; motion carried.

Approval of the Agenda

It was MOVED by Foster and SECONDED by Lyke that the proposed minutes of the meeting of May 1, 2023 be approved. All members present voting yes; motion carried.

Approval of the Minutes

None.

Informative Items

Public hearing to review and consider a rezoning request from Jennifer and Randall Sykes at 1117 South Michigan Avenue from R-S Suburban Residential to R-2 One Family Residential. Staff presented the application and it was noted that this was the only parcel on the street with R-S zoning. The property borders both R-S and R-2 zoned parcels. The rezoning would be consistent with the city's Master Plan.

Public Hearing: Rezoning request at 1117 S. Michigan Ave from RS to R2.

Chairperson Hatfield opened the floor to public comment at 7:09 pm. No comment was received. The public comment portion was closed at 7:09 pm.

It was MOVED by Foster and SECONDED by Lyke to recommend approval of the rezoning request of 1117 South Michigan Ave from R-S to R-2 to the City Council. All members present voting yes; motion carried.

A public hearing was held to review and consider a conditional rezoning request from Green Development Ventures at 1107 North Ferris Street from R-1 One Family Residential to R-2 One Family Residential. Staff presented the contents of the staff memorandum and noted the applicants offered conditions. Mike West, Land Planning Project Manager for Green Development Ventures, spoke on behalf of the application.

Conditional rezoning request at 1107 N. Ferris from R1 to R2.

Chairperson Hatfield opened the public comment portion of the hearing at 7:22pm. Marva Shumway spoke to the commission regarding the application. She noted concerns about water being shed onto her property as a result of the future development and noted her desire to keep the area a quiet neighborhood. King read two comments received via email in advance of the meeting noting opposition to the project due to potential traffic impacts and perceived financial impacts on housing value and taxes. The applicant noted that they would follow all storm

water management requirements from the city. Chairperson Hatfield closed the public comment portion of the hearing at 7:32 pm.

Discussion was held by the Commission. Commissioners weighed the potential impacts of the development on the character of the neighborhood and building massing. A preference for interspersing the single and two-family housing structures was expressed. The applicant stated that topographical issues and lot dimension standards made it a significant challenge to place duplexes on the end of the cul-de-sac. It was noted that the Master Plan identifies this lot as Core Neighborhood in which R2 zoning would be consistent.

It was MOVED by Moyer-Cale and SECONDED by Lyke to recommend the conditional rezoning of 1107 N. Ferris Street from R1 to R2 with the following conditions:

1. The land shall be developed as a site condominium subdivision with extensions of N. Ferris Avenue and Williams Street.
2. The site condominium subdivision will include a total of 18 units with 5 units dedicated to single family detached homes and 13 units dedicated to two family dwellings (duplexes).
3. All units will meet the minimum lot area and width standards for the R-1, One Family Residential zoning district which are 9,990 square feet and 75 feet of lot width (single family dwellings) and 13,000 square feet and 99 feet of lot width (two family dwellings/duplexes).
4. All units will meet the minimum building setback standards for the R-1, One Family Residential zoning district.
5. All dwellings constructed shall be connected to the public sanitary sewer and public water supply system.
6. Sidewalks shall be installed along both sides of the streets.

Voting yes: Foster, Tossava, Lyke, Moyer-Cale

Voting no: Hatfield, Maurer

Motion carried.

The public hearing for text amendment to Chapter 90, Article 90-III, Section 90-87 concerning variances was held. The amendment would modernize the ZBA's variance criteria and represent the effects of several court cases on the subject.

Text amendment
re: ZBA variance
criteria

Chairperson Hatfield opened the public comment portion of the hearing at 8:09 pm. No public comment was received. The comment portion was closed at 8:09 pm.

It was MOVED by Tossava and SECONDED by Foster to recommend approval of the text amendment to the Hastings City Council. All members present voting yes; motion carried.

A public hearing was held to consider amending Chapter 90, Article 90-I, Section 90-1 Definitions to add the definition of a large single rear axle truck, and amending Chapter 90, Article 90-VI, Division 90 VI – 14 D1 Industrial District,

Trailer, Tractor,
RV Parking Text

Section 90-553 to add subsection (g), and amend Chapter 90, Article 90-X Off Street Parking, Section 90-929.

Chairperson Hatfield opened the public comment portion of the hearing at 8:15 pm. No public comment was received. The comment portion was closed at 8:15 pm.

It was MOVED by Tossava and SECONDED by Lyke to recommend the city council approve the text amendment with the addition of “or their designee” after “Police Chief” on section f(2). All members present voting yes; motion carried.

Staff provided background on the highlights of the project as noted in the staff report. Greg Taylor spoke on behalf of the application and introduced members of the development team. It was noted that a lot of information had not yet been provided on the plan so feedback from staff was limited.

New Business:
Preliminary Plan
Review for 328
and 420 E. Mill
Street – Hastings
Mill Project

It was MOVED by Maurer and SECONDED by Lyke to set a public hearing for the PUD amendment and site plan on July 3, 2023 at 7:00 pm. All members present voting yes; motion carried.

Moyer-Cale reported that neither the JPA nor the JPC had recently met.

Old Business:
JPA/JPC Update

King noted that the driveway widths matter had been added to the work task list as requested.

Work Task List

The 911 communications tower project has been added to the tracker.

Tracking Terms
and Conditions

No public comment was received.

Public Comment

Moyer-Cale stated that the city has a new website, www.hastingsmi.gov.

Staff Comments

Foster noted that the hot dog vendor cart concern was not related to the food truck ordinance because it was on public property and the ordinance passed by the commission was for private property only.

Commission
Comments

It was MOVED by Maurer and SUPPORTED by Foster to adjourn the meeting. All members present voting yes, motion carried. Meeting adjourned at 8:56 p.m.

Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

City of Hastings

NOTICE OF PUBLIC HEARING REGARDING PLANNED UNIT DEVELOPMENT REZONING AND FINAL SITE PLAN APPROVAL

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning a Planned Unit Development rezoning and final site plan approval for 420 E. Mill, LLC certain properties located at 328 East Mill Street parcel #08-55-001-001-02 and 420 East Mill Street parcel # 08-001-001-04. The Planning Commission will consider rezoning 328 East Mill Street parcel #08-55-001-001-02 from D-1 Industrial District to PUD Planned Unit Development and 420 East Mill Street parcel #08-001-001-04 from Royal Coach PUD to PUD Planned Unit Development. The Planning Commission will review and consider final site plan approval for a mixed-use development that will include construction of 138 units of multifamily housing. The public hearing will be held at **7:00 PM on Monday July 3, 2023** in the City Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.



A copy of the proposed site plan and map are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 East State Street, Hastings, Michigan 49058. Questions or comments can be directed to Dan King, Community Development Director, at 269.945.2468 or dking@hastingsmi.org

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Christopher R. Bever
City Clerk

Please publish in the June 15, 2023 edition of the Hastings Banner.

Received by _____ on _____ as
representative of the Hastings Banner.

Received by _____ on _____ as representative
of the Hastings Banner.



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: May 30, 2023

Applicant Name: Taylor (Last) Greg (First) _____ (M.I.)
Address: 601 Fifth Street, Suite 300 (Street) Grand Rapids, MI 49504 (City, State, Zip)
Telephone: (616) 920-1655 (Business) (616) 840-5516 (Cellular)
Email: gregt@copperrockconstruction.com

Applicants Interest in Property: Agent for purchaser/developer of the Property

Owners Name (If Different From Above): CopperRock Construction, for an entity to be formed

Request:



Rezoning
Site Plan Review
Other: _____



Special Use Permit
PUD



Plat or Condo
PUD Phase Approval

Address of Property: 328 & 420 E. Mill Street, Hastings, MI 49058

Legal Description: (See attached survey)

Current Zoning: 328 - D1; and 420 - PUD Proposed Zoning: PUD

Applicable Fees: \$380 application + \$1,250
Escrow = \$1,630

Applicants Signature: _____ Senior Construction Specialist

Staff Signature: _____ CDD / ZA

(Title)

(Title)

Office Use Only

Application Number: _____
Filing Date: 5.31.23
Fees Paid: ✓ \$1,630.00
To Clerks Office On: _____
Date Advertised: _____
Date of Meeting: 6.5.23
Board Action: _____
Effective Date: _____

May 31, 2023

Copperrock Construction INC

CHARGES FOR SERVICES - APPLICATION FEE	380.00
Copperrock Construction Inc	
101-100-648-000 Application Fees	
CHARGES FOR SERVICES - Escrow Deposit	1,250.00
101-000-283-320 Perf Dep - Copperrock	
<hr/>	<hr/>
Total:	1,630.00
CHECK	1,630.00
Check No: 51647	
Payor: Copperrock Construction INC	
Total Applied:	1,630.00
<hr/>	<hr/>
Change Tendered:	.00

Duplicate Copy

05/31/2023 4:09 PM

THORNAPPLE RIVER MILL

E MILL STREET
SECTION 07, T.03N, R.08W
CITY OF HASTINGS
BARRY COUNTY, MI

SITE DEVELOPMENT PLANS
JUNE 15, 2023

ISSUED FOR: PUD PLAN REVIEW

SHEET INDEX

No.	SHEET TITLE
T1.0	TITLE SHEET
C1.0	EX CONDITIONS - DEMO PLAN
C2.0	SITE LAYOUT
C3.0	UTILITY PLAN
C4.0	GRADING - SESC PLAN
L1.0	LANDSCAPE PLAN
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REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	PUD PLAN REVIEW	6/15/23	sao
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.

DEVELOPER:

COPPERROCK CONSTRUCTION
601 FIFTH STREET NW, SUITE 300
GRAND RAPIDS, MI 49504

CIVIL ENGINEER:

AR ENGINEERING, LLC.
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604

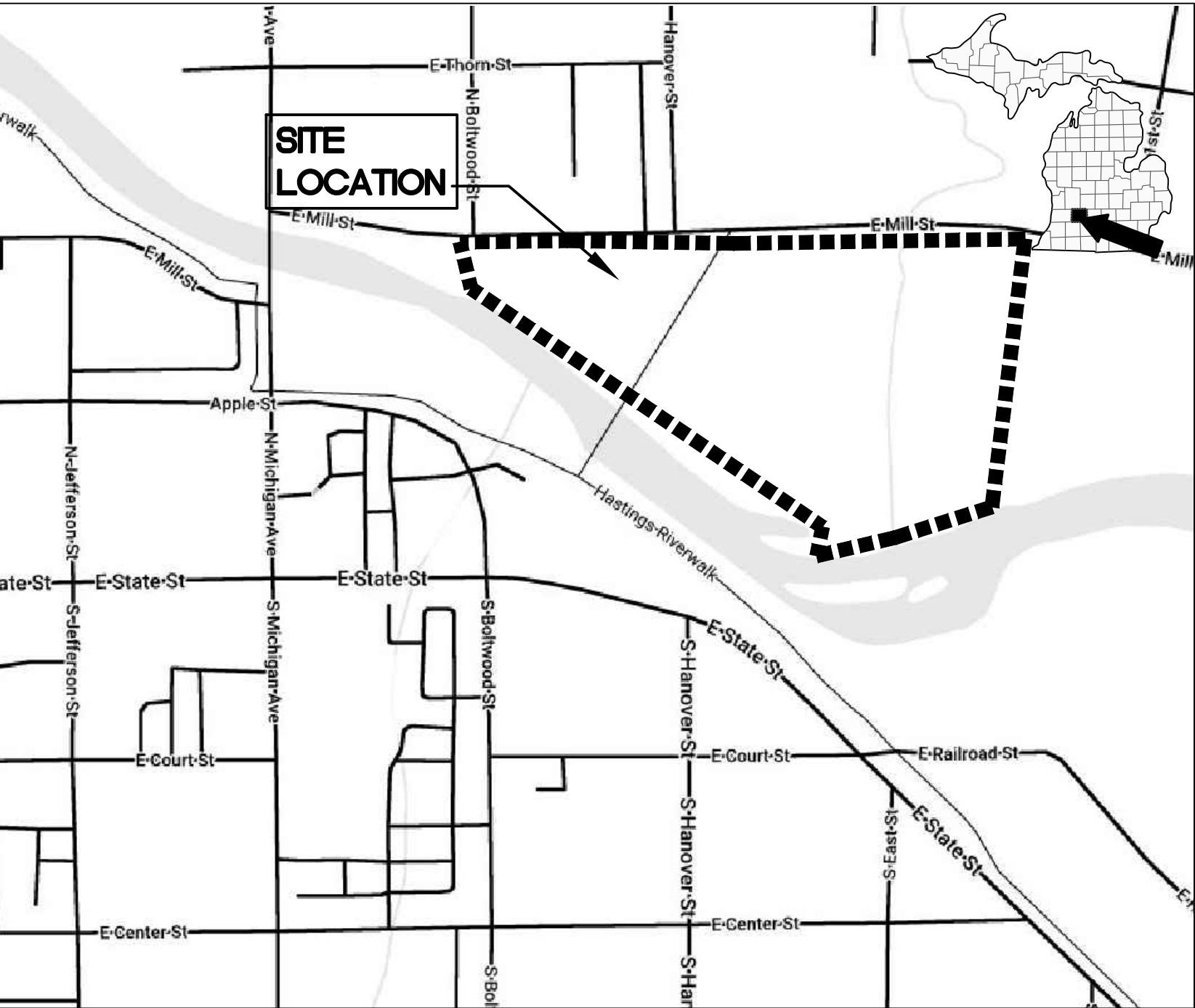


SPENCER O'DELL, P.E.

DATE

LOCATION MAP

NOT TO SCALE



42°39'00.91"N 85°16'58.91"W

LEGAL DESCRIPTION

PARCEL #: 55-001-001-02, 55-001-001-04

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

PARCEL 1

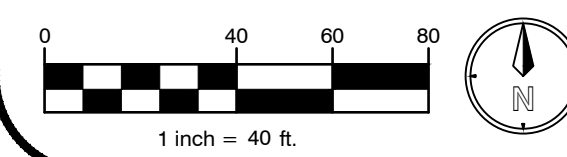
ALL OF LOTS 322 THOROUGH 328, LOTS 336 THROUGH 348, PART OF LOTS 329 AND 335, ALL OF THE BLANK LOTS LYING WEST OF LOT 348, SOUTH OF APPLE STREET AND NORTHERLY OF THE THORNAPPLE RIVER, AND PART OF VACATED HANOVER, EAST AND APPLE STREETS, ALL IN THE ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF HASTINGS, BARRY COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 POST OF SECTION 17, TOWN 3 NORTH, RANGE 8 WEST, HASTINGS TOWNSHIP, BARRY COUNTY, MICHIGAN: THENCE SOUTH 00 DEGREES 15 MINUTES 25 SECONDS WEST 1121.72 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17 TO THE SOUTH LINE OF PLATTED MILL STREET (SAID POINT LYING 1.39 FEET EAST OF AN IRON PIPE); THENCE SOUTH 00 DEGREES 15 MINUTES 25 SECONDS WEST 499.80 FEET ALONG SAID 1/4 LINE TO AN INTERMEDIATE TRAVERSE LINE OF THE NORTH BANK OF THE THORNAPPLE RIVER; THENCE SOUTH 70 DEGREES 55 MINUTES 22 SECONDS WEST 268.20 FEET ALONG SAID INTERMEDIATE TRAVERSE LINE; THENCE NORTH 72 DEGREES 46 MINUTES 49 SECONDS WEST 215.56 FEET ALONG SAID INTERMEDIATE TRAVERSE LINE; THENCE NORTH 50 DEGREES 12 MINUTES 27 SECONDS WEST 358.27 FEET TO THE END OF SAID INTERMEDIATE TRAVERSE LINE; THENCE NORTH 34 DEGREES 44 MINUTES 13 SECONDS EAST 360.42 FEET TO SAID SOUTH LINE OF MILL STREET; THENCE SOUTH 89 DEGREES 46 MINUTES 48 SECONDS EAST 531.53 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING, INCLUDING ALL LAND LAYING BETWEEN SAID INTERMEDIATE TRAVERSE LINE AND THE WATERS FOR THE THORNAPPLE RIVER AS LIMITED BY THE SOUTHER EXTENSION OF THE SIDELINES

PARCEL 2

ALL OF LOTS 330, 332, 333 AND 334 AND PART OF LOTS 329, 331 AND 335 AND THE PART OF VACATED PLATTED HANOVER STREET AND PART OF VACATED BOLTWOOD STREET, ALL IN THE ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF HASTINGS, BARRY COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 17, TOWN 7 NORTH, RANGE 8 WEST; THENCE SOUTH 00 DEGREES 15 MINUTES 23 SECONDS WEST 1121.83 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17 TO THE SOUTH LINE OF PLATTED MILL STREET; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17 TO THE SOUTH LINE OF PLATTED MILL STREET; THENCE ALONG SAID SOUTH LINE NORTH 89 DEGREES 46 MINUTES 48 SECONDS WEST 534.08 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 34 DEGREES 44 MINUTES 48 SECONDS WEST 359.13 FEET TO AN INTERMEDIATE TRAVERSE LINE OF THE NORTH BANK OF THORNAPPE RIVER; THENCE ALONG SAID TRAVERSE LINE NORTH 50 DEGREES 51 MINUTES 15 SECONDS WEST 331.34 FEET; THENCE CONTINUING ALONG SAID TRAVERSE LINE NORTH 68 DEGREES 47 MINUTES 24 SECONDS WEST 82.56 FEET TO THE END OF SAID INTERMEDIATE TRAVERSE LINE; THENCE ALONG THE WEST LINE OF VACATED BOLTWOOD STREET NORTH 00 DEGREES 19 MINUTES 59 SECONDS EAST 58.15 FEET TO SAID SOUTH LINE OF MILL STREET; THENCE ALONG SAID SOUTH LINE SOUTH 89 DEGREES 46 MINUTES 48 SECONDS EAST 538.24 FEET TO THE POINT OF BEGINNING. INCLUDING LAND LAYING BETWEEN SAID INTERMEDIATE TRAVERSE LINE AND THE WATER OF THE THORNAPPLE RIVER, AS LIMITED BY THE SIDE LINES EXTENDED TO THE WATERS EDGE

UTILITY CONTACTS

CABLE	XFINITY (866) 477-2179	TELEPHONE	AT&T (877) 368-2737
WATER	HASTINGS DEPARTMENT OF PUBLIC SERVICES 201 E STATE ST HASTINGS, MI 49058 (269) 945-2468	SEWER	HASTINGS DEPARTMENT OF PUBLIC SERVICES 201 E STATE ST HASTINGS, MI 49058 (269) 945-2468
GAS	CONSUMERS ENERGY (800) 477-5050	ELECTRIC	CONSUMERS ENERGY (800) 477-5050
		MISS DIG	811



PLANS PREPARED BY:



DRAWN: eeg
CHECKED: SAO

PRELIMINARY
NOT FOR CONSTRUCTION

No.	ISSUED FOR:	DATE	BY
0	PUD PLAN REVIEW	06/15/2023	seo
1			
2			
3			
4			

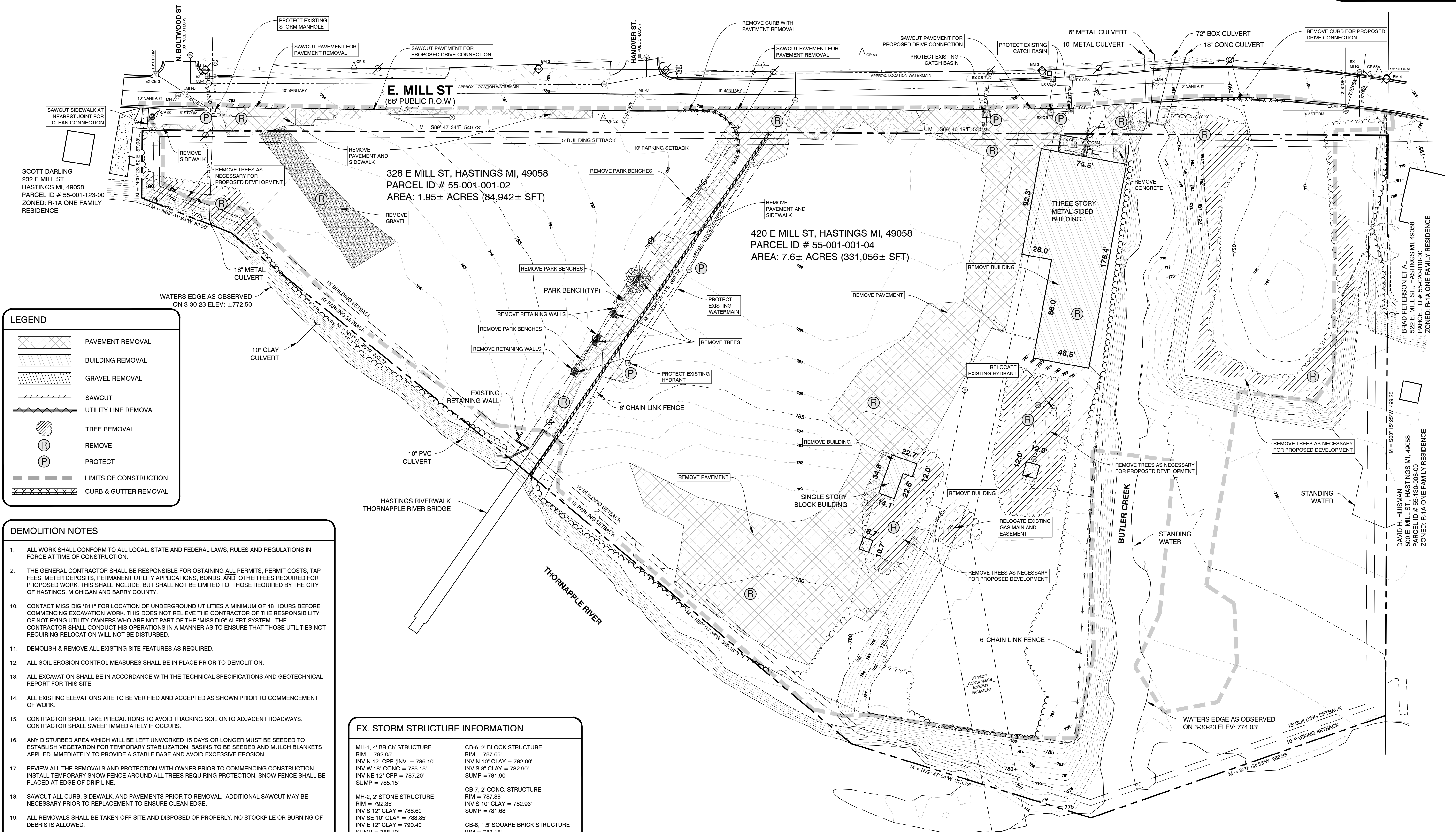
EXISTING CONDITIONS & DEMO PLAN
THORNAPPLE RIVER MILL
COPPER ROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001

DATE
06/15/2023

SHEET NUMBER
C1.0



LEGEND	
	PAVEMENT REMOVAL
	BUILDING REMOVAL
	GRAVEL REMOVAL
	SAWCUT
	UTILITY LINE REMOVAL
	TREE REMOVAL
	REMOVE
	PROTECT
	LIMITS OF CONSTRUCTION
	CURB & GUTTER REMOVAL

- DEMOLITION NOTES**
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: THOSE REQUIRED BY THE CITY OF HASTINGS, MICHIGAN AND BARRY COUNTY.
 - CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
 - DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
 - ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
 - ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR THIS SITE.
 - ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
 - ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
 - REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
 - SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
 - ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
 - ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
 - REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
 - THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 - BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
 - CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

EX. STORM STRUCTURE INFORMATION	
MH-1, 4' BRICK STRUCTURE RIM = 792.05' INV N 12" CPP (INV. = 786.10' INV W 18" CONC = 785.15' INV NE 12" CPP = 787.20' SUMP = 785.15'	CB-6, 2' BLOCK STRUCTURE RIM = 787.65' INV N 10" CLAY = 782.00' INV S 8" CLAY = 782.90' SUMP = 781.90'
MH-2, 2' STONE STRUCTURE RIM = 792.35' INV S 12" CLAY = 788.80' INV SE 10" CLAY = 788.85' INV E 12" CLAY = 790.40' SUMP = 788.10'	CB-7, 2' CONC. STRUCTURE RIM = 787.88' INV S 10" CLAY = 782.93' SUMP = 781.68'
CB-3, 2' BLOCK STRUCTURE RIM = 783.29' INV N 10" CLAY = 781.29' INV SE 8" CONC = 784.17' SUMP = 780.54'	CB-8, 1.5' SQUARE BRICK STRUCTURE RIM = 783.15' STRUCTURE COLLAPSED AND FULL
CB-4, 2' BLOCK STRUCTURE RIM = 783.15' INV N 10" CLAY = 781.45' SUMP = 781.15'	CB-9, 2' BLOCK STRUCTURE RIM = 787.57' INV S 8" CLAY = 784.17' SUMP = 783.72'
MH-5, 2' BLOCK STRUCTURE RIM = 783.15' INV NNW 8" CLAY = 780.20' INV NW 8" CLAY = 780.15' INV NW 8" CLAY = 780.35' INV S 12" CLAY = 779.95' INV E 8" CLAY = 781.45' SUMP = 779.90	CB-10, 1.5' SQUARE BRICK STRUCTURE RIM = 787.41' INV SE 8" CLAY = 780.66' INV W 10" CLAY = 780.56' SUMP = 780.56'
	CB-11, 1.5' SQUARE CONC. STRUCTURE RIM = 786.62' INV E 6" CLAY = 785.32' SUMP = 784.72'
	CB-12, 1.5' SQUARE BRICK STRUCTURE RIM = 787.46' (BROKEN STRUCTURE) INV E 10" CLAY = 781.11' INV W 10" CLAY = 781.06' SUMP = 781.06'

BENCHMARKS	
BM-1: ELEV: 785.69 SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX TWENTY FEET EAST OF CENTERLINE OF BOLTWOOD STREET.	BM-2: ELEV: 790.05 SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX NINETY FEET WEST OF CENTERLINE OF HANOVER ST.
BM-3: ELEV: 789.80 TOP OF NORTH EAST FLANG BOLT ON HYDRANT LOCATED APPROX. TWENTY FIVE FEET NORTH OF CENTERLINE OF MILL ST. AND APPROX. 8' ± FEET WEST OF CATCH BASIN IN MILL ST.	BM-4: ELEV: 794.54 SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. FIFTEEN FEET NORTH FROM CENTERLINE OF MILL ST. & APPROX. 23' ± FEET EAST OF MH-2.

EX. SANITARY STRUCTURE INFORMATION	
MH-A, 4' CONC. STRUCTURE RIM = 783.32' INV NE 10" PVC 779.12' INV W 10" PVC 779.02'	MH-C, 4' BRICK STRUCTURE RIM = 787.96' INV E 8" CLAY = 781.01' INV W 8" CLAY = 780.96' INV SW 4" METAL = 782.96'
MH-B, 2' BLOCK STRUCTURE RIM = 783.27' INV SW 10" PVC 779.17' INV E 10" CLAY 779.27'	MH-D, 4' CONC. STRUCTURE RIM = 789.18' INV E 8" CLAY 782.88' PLPE W = FULLY COVERED



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
- SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

LEGEND

	LIGHT DUTY PAVEMENT
	CONCRETE SIDEWALK
	BRICK PAVERS

BENCHMARKS

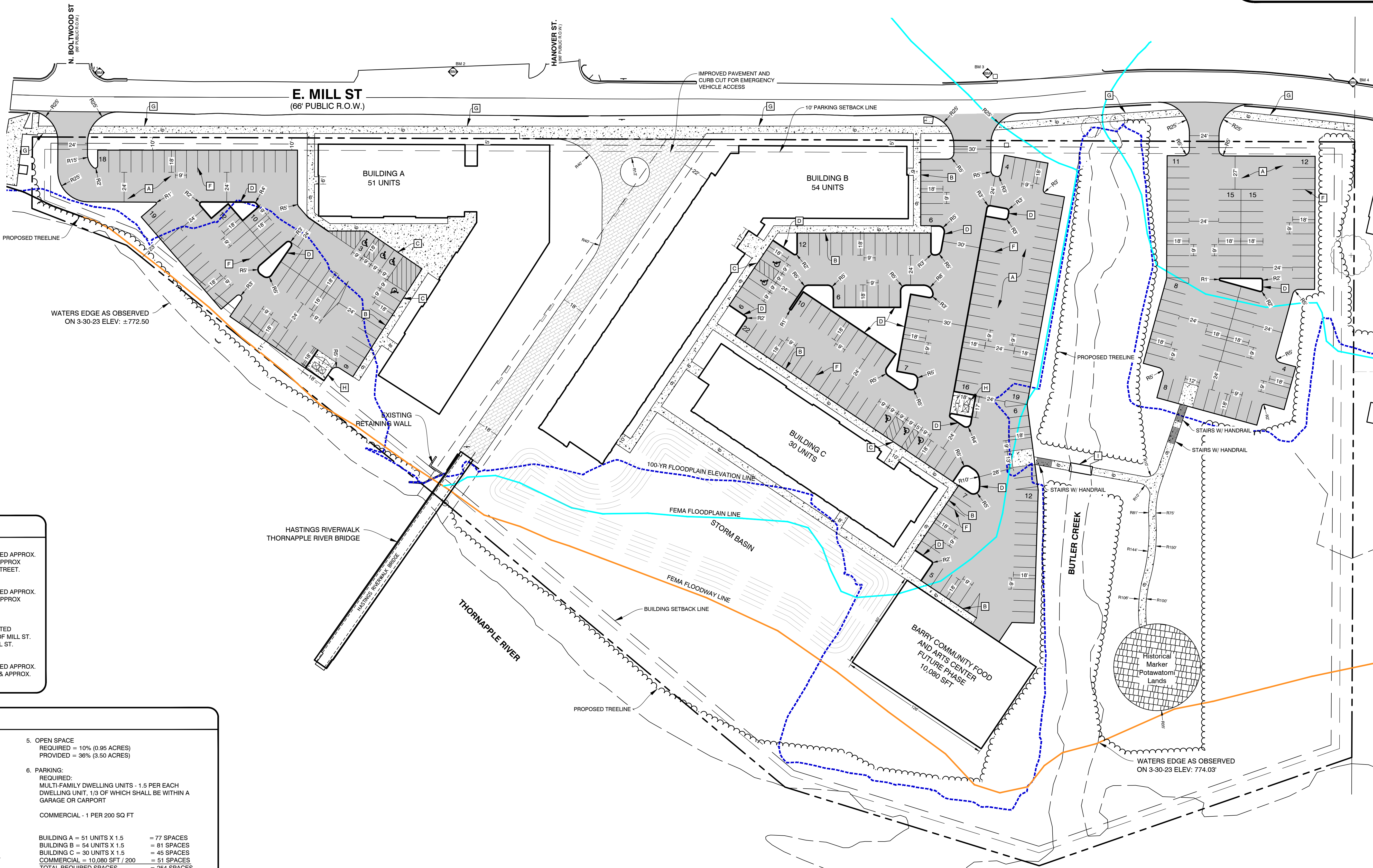
- BM-1: ELEV: 785.69
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX. TWENTY FEET EAST OF CENTERLINE OF BOLTWOOD STREET.
- BM-2: ELEV: 790.05
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX. NINETY FEET WEST OF CENTERLINE OF HANOVER ST.
- BM-3: ELEV: 789.80
TOP OF NORTH EAST FLANG BOLT ON HYDRANT LOCATED APPROX. TWENTY FIVE FEET NORTH OF CENTERLINE OF MILL ST. AND APPROX. 8' ± FEET WEST OF CATCH BASIN IN MILL ST.
- BM-4: ELEV: 794.54
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. FIFTEEN FEET NORTH FROM CENTERLINE OF MILL ST. & APPROX. 23' ± FEET EAST OF MH-2.

SITE DATA

- PROPERTY INFORMATION:
PARCEL #S: 55-001-001-02
55-001-001-04
SITE AREA: 415,998 SF (9.55 AC)
OWNER: ROYAL COACH ACQUISITIONS, LLC
402 E MILL STREET
HASTINGS, MI 49058
DEVELOPER: COPPERROCK CONSTRUCTION
601 FIFTH STREET NW, SUITE 300
GRAND RAPIDS, MI 49504
- ZONING:
PROPERTY CURRENTLY ZONED: PUD - PLANNED UNIT DEVELOPMENT
ABUTTING PROPERTY CURRENTLY ZONED:
NORTH: D-1 INDUSTRIAL DISTRICT
SOUTH: R-P - THORNAPPLE RIVER PROTECTION OVERLAY ZONE
EAST: R-1A - ONE FAMILY RESIDENTIAL DISTRICT
WEST: R-P - THORNAPPLE RIVER PROTECTION OVERLAY ZONE
PROPOSED LAND USE = MIXED USE
*PERMITTED USE IN PUD
- SETBACKS
FRONT = 5'
SIDES = 15'
REAR = 15'
- DENSITY
135 UNITS
NET DEVELOPABLE AREA
SITE - FLOODPLAIN = 5.75 ACRES
UNIT DENSITY = 23.4 UNITS/ACRE
- OPEN SPACE
REQUIRED = 10% (0.95 ACRES)
PROVIDED = 36% (3.50 ACRES)
- PARKING:
REQUIRED:
MULTI-FAMILY DWELLING UNITS - 1.5 PER EACH DWELLING UNIT, 1/3 OF WHICH SHALL BE WITHIN A GARAGE OR CARPORT
COMMERCIAL - 1 PER 200 SQ FT
BUILDING A = 51 UNITS X 1.5 = 77 SPACES
BUILDING B = 54 UNITS X 1.5 = 81 SPACES
BUILDING C = 30 UNITS X 1.5 = 45 SPACES
COMMERCIAL = 10,080 SFT / 200 = 51 SPACES
TOTAL REQUIRED SPACES = 254 SPACES
PROVIDED = STANDARD 9' x 18' SPACES = 273
BARRIER FREE SPACES = 9
TOTAL PROVIDED = 282
- BUILDING:
THREE-STORY
MAXIMUM HEIGHT: N/A
SEE ARCH PLANS FOR BUILDING SIZES AND DETAILS
PROPOSED BUILDING COVERAGE: 16%
MAXIMUM BUILDING COVERAGE: N/A
- LOT:
MINIMUM LOT SIZE: 2,500 SFT
MINIMUM LOT WIDTH: 35FT
LOT SIZE: 415,998 SFT / 9.55 ACRES
LOT DIMENSIONS: IRREGULAR
- LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
- STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH CITY AND COUNTY STORM WATER GUIDELINES.

SITE PLAN NOTES

- BITUMINOUS PAVEMENT.
- INTEGRAL CURB/WALK.
- AT-GRADE RAMP (SEE GRADING PLAN).
- 6" BARRIER CURB.
- DOWNSPOUT (TYP.).
- 4" PAINTED PARKING LOT MARKINGS / STRIPING (TYP.).
- PROPOSED PUBLIC SIDEWALK.
- 18' x 18' CONCRETE DUMPSTER PAD (PROVIDE 18' x 12' DUMPSTER ENCLOSURE, AREA FOR (2) STD DUMPSTERS).
- PROPOSED BRIDGE OVER CREEK (BY OTHERS).



PLANS PREPARED BY:

AR ENGINEERING
CIVIL ENGINEERING & SURVEYING
MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5991 PHONE | 800.560.0604 FAX
www.arengineeringllc.com

DRAWN: eeg
CHECKED: SAO

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No.	ISSUED FOR:	DATE	BY
0	PUD PLAN REVIEW	06/15/2023	sao
1			
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SITE LAYOUT
THORNAPPLE RIVER MILL
COPPERROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001

DATE
06/15/2023

SHEET NUMBER

C2.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

UTILITY PLAN NOTES

- [A] WATER SERVICE. COORDINATE CONNECTION WITH PLUMBING PLANS.
- [B] 59 LF TO R/W - WATER SERVICE. CONNECT TO THE EXISTING MAIN. COORDINATE WITH CITY OF HASTINGS - 269-645-2468
- [C] SEWER LATERAL. COORDINATE CONNECTION WITH PLUMBING PLANS.
- [D] CONNECT TO THE EXISTING MANHOLE. COORDINATE WITH CITY OF HASTINGS - 269-645-2468
- [E] CONNECT TO EXISTING SEWER MAIN. COORDINATE WITH CITY OF HASTINGS - 269-645-2468

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
- WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND THE CITY OF HASTINGS REQUIREMENTS.
- SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF THE CITY OF HASTINGS AND THE EGLE.
- ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
- CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET THE CITY OF HASTINGS SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
- THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
- REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
- DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
- CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
- THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING MAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE. THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE CITY OF HASTINGS.
- CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
- MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
- ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE EGLE FOR THE SPECIFIC REGION OF WORK IN CITY OF HASTINGS.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY SME.
- DRIVEWAY LAYOUT AND CONNECTION TO E MILLS STREET SHALL COMPLY WITH ALL ASPECTS OF THE CITY OF HASTINGS DRIVE PERMIT.

EX. STORM STRUCTURE INFORMATION

EX MH-1, 4' BRICK STRUCTURE
RIM = 792.05'
INV N 12" CPP (INV. = 786.10'
INV W 18" CONC = 785.15'
INV NE 12" CPP = 787.20'
SUMP = 785.15'

EX MH-2, 2' STONE STRUCTURE
RIM = 792.35'
INV S 12" CLAY = 788.60'
INV SE 10" CLAY = 788.85'
INV E 12" CLAY = 790.40'
SUMP = 788.10'

EX CB-3, 2' BLOCK STRUCTURE
RIM = 783.29'
INV N 10" CLAY = 781.29'
INV SE 8" CLAY = 781.24'
SUMP = 780.54'

EX CB-4, 2' BLOCK STRUCTURE
RIM = 783.15'
INV SES 8" CLAY = 781.45'
SUMP = 781.15'

EX MH-5, 2' BLOCK STRUCTURE
RIM = 783.15'
INV NNW 8" CLAY = 780.20'
INV N 8" CLAY = 780.15'
INV NW 8" CLAY = 780.35'
INV S 12" CLAY = 779.95'
INV E 8" CLAY = 781.45'
SUMP = 779.90

EX CB-6, 2' BLOCK STRUCTURE
RIM = 787.65'
INV N 10" CLAY = 782.00'
INV S 8" CLAY = 782.90'
SUMP = 781.90'

EX CB-7, 2' CONC. STRUCTURE
RIM = 787.88'
INV S 10" CLAY = 782.93'
INV NE 12" CPP = 787.20'
SUMP = 781.68'

EX CB-8, 1.5' SQUARE BRICK STRUCTURE
RIM = 783.15'
STRUCTURE COLLAPSED AND FULL

EX CB-9, 2' BLOCK STRUCTURE
RIM = 787.57'
INV S 8" CONC = 784.17'
SUMP = 783.72'

EX CB-10, 1.5' SQUARE BRICK STRUCTURE
RIM = 787.41'
INV E 10" CLAY = 780.66'
INV W 10" CLAY = 780.56'
SUMP = 780.56'

EX CB-11, 1.5' SQUARE CONC. STRUCTURE
RIM = 786.62'
INV E 6" CLAY = 785.32'
INV W 10" CLAY = 784.72'

EX CB-12, 1.5' SQUARE BRICK STRUCTURE
RIM = 787.46' (BROKEN STRUCTURE)
INV E 10" CLAY = 781.11'
INV W 10" CLAY = 781.06'
SUMP = 781.06'

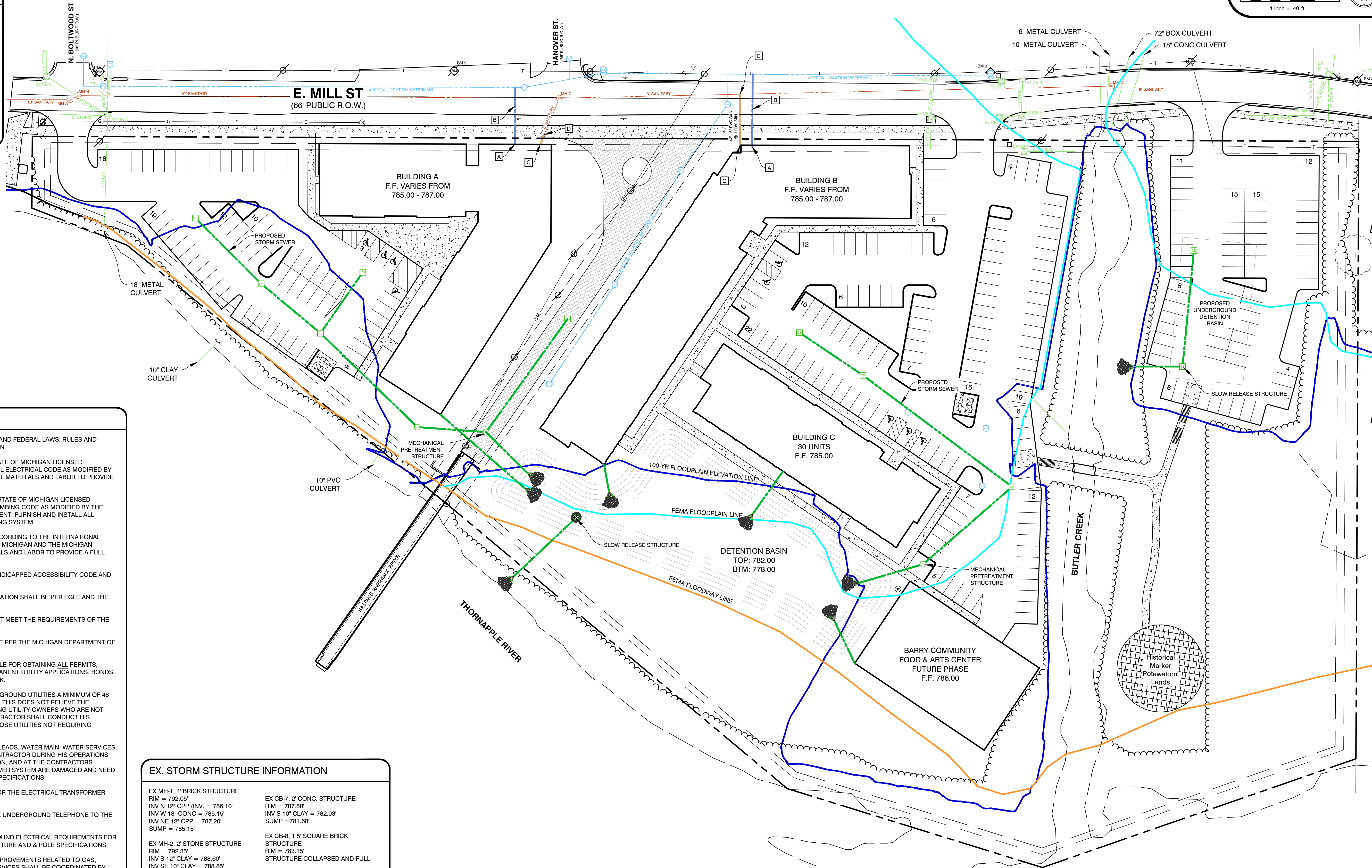
EX. SANITARY STRUCTURE INFORMATION

MH-A, 4' CONC. STRUCTURE
RIM = 783.32'
INV NE 10" PVC 779.12'
INV W 10" PVC 779.02'

MH-B, 2' BLOCK STRUCTURE
RIM = 783.27'
INV SW 10" PVC 779.17'
INV S 8" CLAY = 782.90'

MH-C, 4' BRICK STRUCTURE
RIM = 787.96'
INV E 8" CLAY = 781.01'
INV W 8" CLAY = 780.96'
INV SW 4" METAL = 782.96'

MH-D, 4' CONC. STRUCTURE
RIM = 788.18'
INV E 8" CLAY 782.88'
PLPE W = FULLY COVERED



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PLANS PREPARED BY:

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1			
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UTILITY PLAN
THORNAPPLE RIVER MILL
COPPER ROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

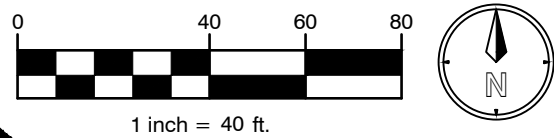
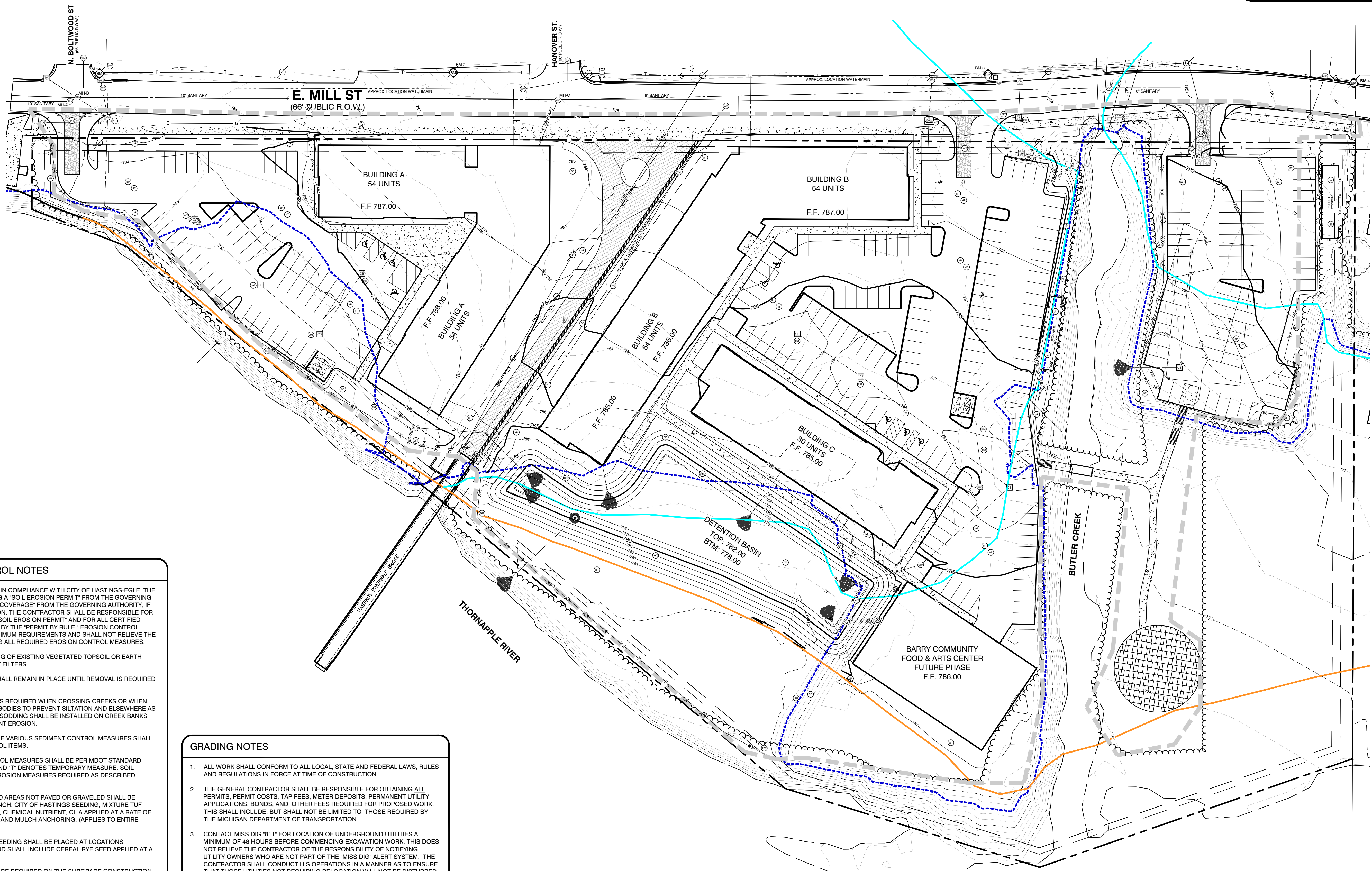
SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001

DATE
06/15/2023

SHEET NUMBER

C3.0



SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH CITY OF HASTINGS-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE GOVERNING AUTHORITY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE GOVERNING AUTHORITY, IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.

2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.

3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.

5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PER MDOT STANDARD DETAILS. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH. CITY OF HASTINGS SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL, A APPLIED AT A RATE OF 228 LB/ACRE, MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.

DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, (CACL₂ (TON) AS DIRECTED BY THE PROJECT ENGINEER.

DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION

DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2'-4" AGGREGATE.

DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.

2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.

3. CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.

5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.

6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.

7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.

8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.

9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.

10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.

11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

LEGEND

--- LIMITS OF CONSTRUCTION
--- SILT FENCE



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GRADING & SESC PLAN
THORNAPPLE RIVER MILL
COPPER ROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

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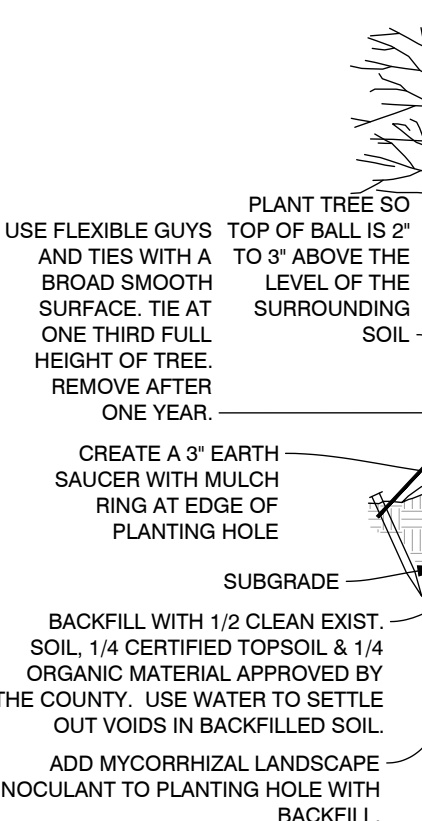
LANDSCAPING NOTES

LANDSCAPE REQUIRED:

- BUFFER ZONE:**
10 FOOT WIDE BUFFER
PLANTINGS REQUIRED PER 100 LINEAR FEET OF BUFFER ZONE
 - 2 CANOPY TREES
 - 2 ORNAMENTAL TREES
 - 2 EVERGREEN TREES
 - 4 SHRUBS
- WEST BUFFER ZONE = 50' / 100 = 0.5 TREES**
 - 2 * 0.5 = 1 CANOPY TREE
 - 2 * 0.5 = 1 ORNAMENTAL TREES
 - 2 * 0.5 = 1 EVERGREEN TREES
 - 4 * 0.5 = 2 SHRUBS
- EAST BUFFER ZONE = 400' / 100 = 4 TREES**
 - 2 * 4 = 8 CANOPY TREE
 - 2 * 4 = 8 ORNAMENTAL TREES
 - 2 * 4 = 8 EVERGREEN TREES
 - 4 * 4 = 16 SHRUBS
- FRONT YARD LANDSCAPING:**
 - 1 CANOPY TREE AND 2 EVERGREEN TREES PLUS 1 CANOPY AND 1 EVERGREEN FOR EACH 75 FEET IN ROAD FRONTAGE
 - 1 ORNAMENTAL TREE PLUS 1 FOR EACH 75 FEET IN ROAD FRONTAGE
 - SHRUBS AT A RATE OF 1 PER EACH TREE REQUIRED
- 1,072 FEET OF ROAD FRONTAGE / 75 = 14.3 ≈ 15 ADDITIONAL TREES**
 - 16 CANOPY TREES, 18 EVERGREEN TREES
 - 16 ORNAMENTAL TREES
 - 50 SHRUBS
- PARKING LANDSCAPING**
 - 1 CANOPY TREE FOR EVERY 20 SPACES
 - 282 SPACES / 20 = 14.1 = 14 TREES
 - 1 TREE PER LANDSCAPE ISLAND
 - 10 LANDSCAPE ISLAND = 10 TREES
 - 24 TOTAL PARKING LOT TREES
- 10% OPEN SPACE REQUIRED**
415,998 * 0.10 = 41,599 SFT

NOTE:
STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.

AT PLANTING PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, SUCKERS AT ROOT BALL, BROKEN OR DEAD BRANCHES AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS. DO NOT CUT TERMINAL LEADER.



TYPICAL DECIDUOUS TREE PLANTING DETAIL

L1.0 - 170102

NOT TO SCALE

LEGEND

- 1** NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED
- Xx**
- +** PROPOSED ORNAMENTAL TREE
- +** PROPOSED SHADE TREE
- +** PROPOSED EVERGREEN TREE
- +** PROPOSED SHRUB DECIDUOUS/ EVERGREEN
- OPEN SPACE**
- SOD LAWN WITH IRRIGATION ON 4\"/>**

ALL PLANTINGS AND LANDSCAPED BEDS REQUIRE IRRIGATION - EITHER DRIP LINE OR MISTERS AS REQUIRED TO ESTABLISH GROWTH AND MAINTAIN HEALTH OF ALL PLANTINGS/LANDSCAPED BEDS.

LANDSCAPING CONTRACTOR RESPONSIBLE FOR TOUCHING-UP AND FINISH-LEVELING OF TOPSOIL AS NECESSARY TO ENSURE HYDROSEED AND SOD ARE INSTALLED ON A SMOOTH AND LEVEL SURFACE FREE OF CLUMPS, STICKS, HOLES, ETC.

LANDSCAPING NOTES

- INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
- ALL LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/ 1000 SFT.
- ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/4" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
- BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
- MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTLING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
- TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

TYPICAL CONIFEROUS TREE PLANTING DETAIL

L1.0 - 170101

NOT TO SCALE

TYPICAL SHRUB PLANTING DETAIL

L1.0 - 170103

NOT TO SCALE

Shrub Planting Schedule

Symbol	Latin Name	Common Name	Size	Container Type	Comments
Sp	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spiraea	24" Ht.	3-5 gallon cont.	3' o.c.
Gb	<i>Buxus</i> 'Green Gem'	Green Gem Boxwood	24" Ht.	B&B or Cont.	3' o.c.

Tree Planting Schedule

Symbol	Latin Name	Common Name	Size	Container Type	Comments
As	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2.5" Cal.	B&B	
Av	<i>Thuja orientalis</i>	Aborvitae	4' Ht.	B&B	
Gd	<i>Gleditsia triacanthos</i> 'Skycole'	Skyline Honey Locust	2.5 - 3" Cal.	B&B	
Ls	<i>Liquidambar styraciflua</i>	Sweetgum	2.5 - 3" Cal.	B&B	



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

PLANS PREPARED BY:



DRAWN: eag
CHECKED: SAO

PRELIMINARY
NOT FOR CONSTRUCTION

No.	ISSUED FOR:	DATE	BY
0	PUD PLAN REVIEW	06/15/2023	sao
1			
2			
3			
4			

LANDSCAPING PLAN
THORNAPPLE RIVER MILL
COPPER ROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

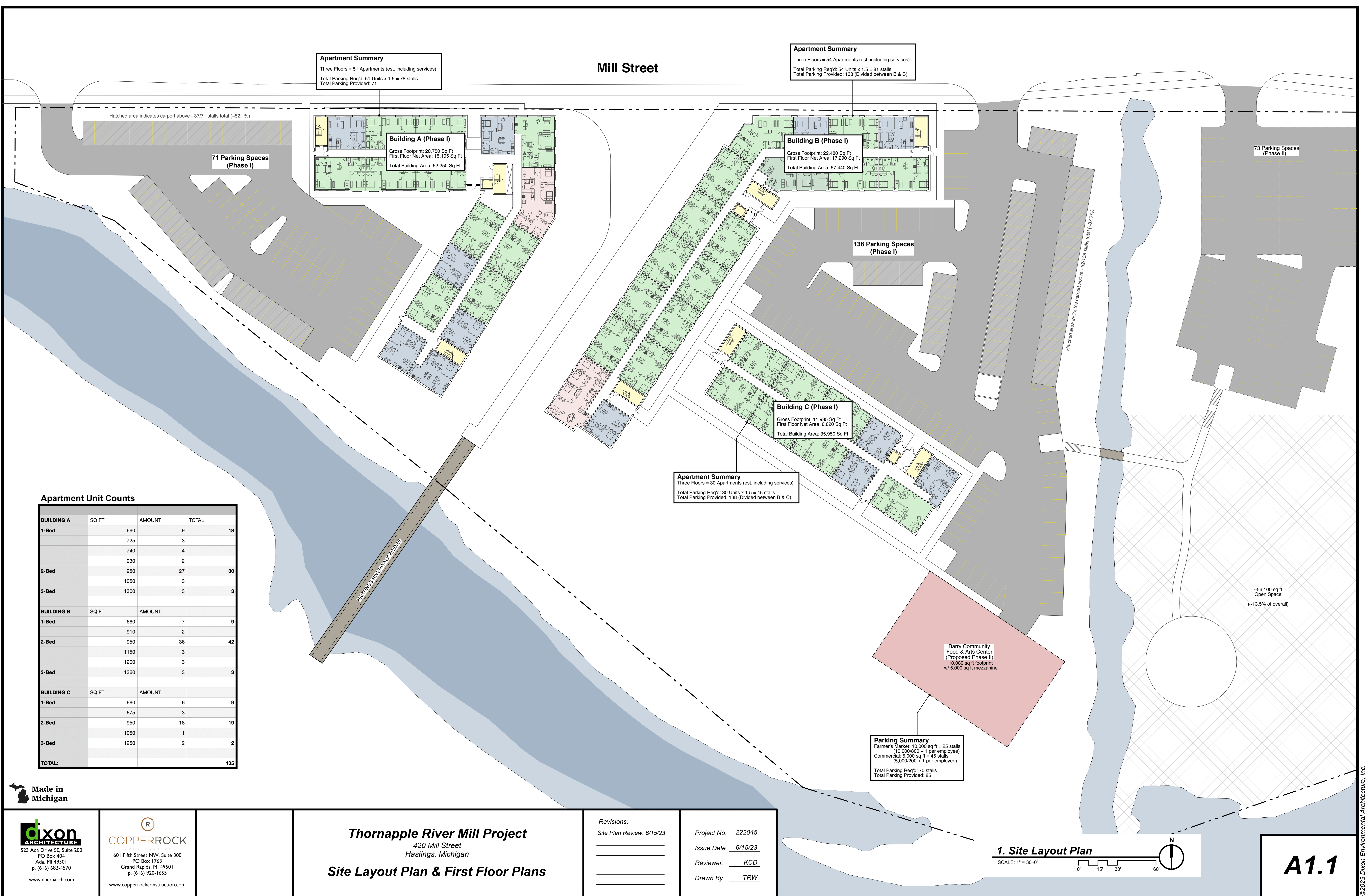
SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001

DATE
06/15/2023

SHEET NUMBER

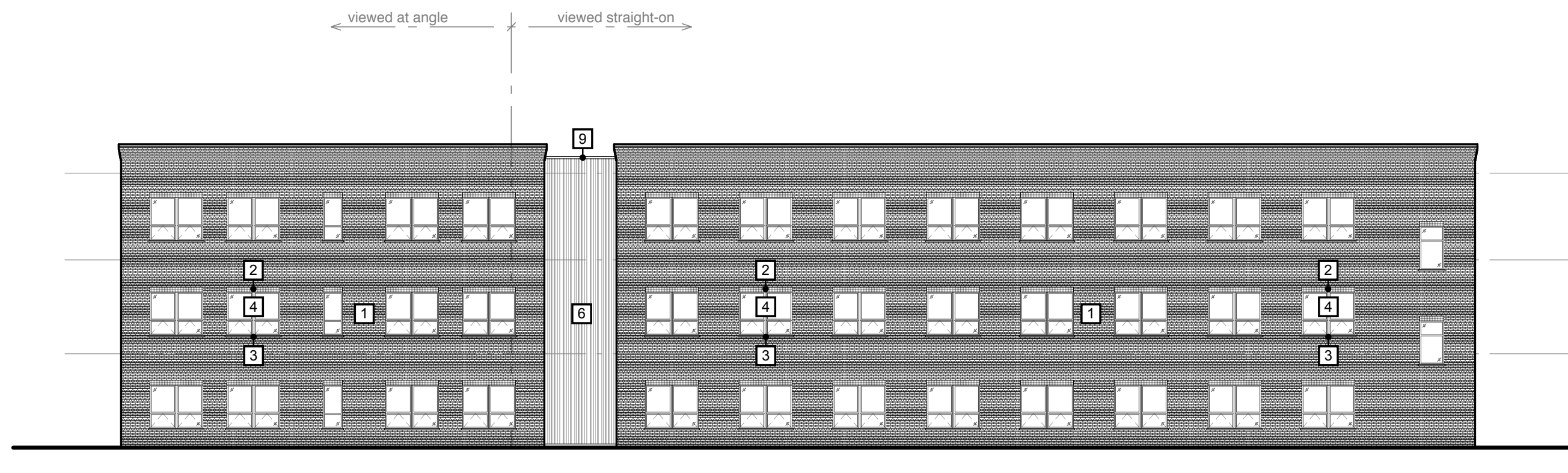
L1.0





1. First Floor Plan
SCALE: 1/16" = 1'-0"
0' 8' 16' 32' N

2. Second / Third Floor Plans
SCALE: 1/16" = 1'-0"
0' 8' 16' 32' N

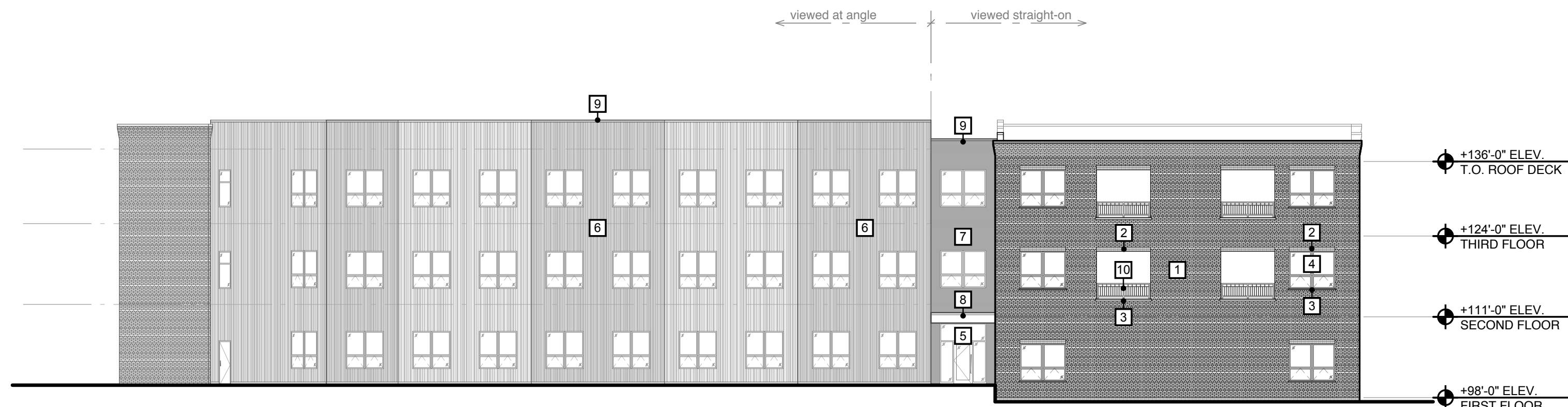
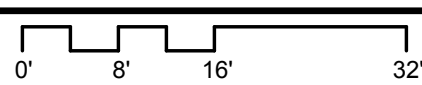


1. North Elevation (Mill Street)

SCALE: 1/16" = 1'-0"

MATERIAL CALCULATIONS

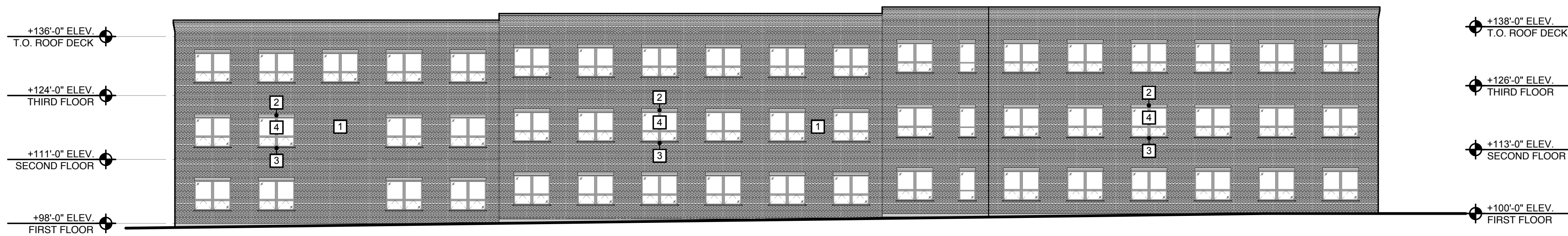
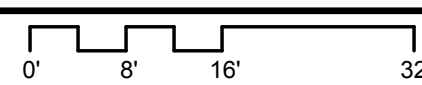
TOTAL SQFT - 7,800 sqft
BRICK VENEER - 5,721 sqft (73%)
GLAZING - 1,684 sqft (22%)
METAL PANELS - 395 sqft (5%)



2. South Elevation (Thornapple River)

SCALE: 1/16" = 1'-0"

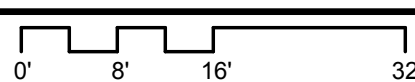
TOTAL SQFT - 7,940 sqft
BRICK VENEER - 1,878 sqft (24%)
GLAZING - 1,880 sqft (24%)
METAL PANELS - 4,183 sqft (52%)



3. East Elevation (Towards Building 'B')

SCALE: 1/16" = 1'-0"

TOTAL SQFT - 10,148 sqft
BRICK VENEER - 7,800 sqft (77%)
GLAZING - 2,348 sqft (23%)



Exterior Materials Legend (OR DESIGN EQUIVALENT)

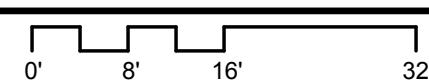
LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	MODULAR BRICK #1A	BELDEN OR ALT.	COMMON BOND	COLOR #1
2	MODULAR BRICK #1B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
3	PRECAST CONCRETE	TERRY'S	SMOOTH FACE	TBD
4	ALUMINUM WINDOW	TBD	TBD	TBD
5	ALUMINUM STOREFRONT SYSTEM	TUBELITE	2" FACE WIDTH	TBD
6	STANDING SEAM METAL PANEL	TBD	TBD	TBD
7	ARCHITECTURAL METAL PANEL	TBD	TBD	TBD
8	METAL PANEL CANOPY	TBD	TBD	TBD
9	PREFINISHED METAL PARAPET COPING	TBD	TBD	TBD
10	PREFINISHED METAL RAILING	TBD	TBD	PAINTED - COLOR TBD
11				
12				
13				
14				
15				



4. West Elevation (Parking Lot)

SCALE: 1/16" = 1'-0"

TOTAL SQFT - 7,462 sqft
BRICK VENEER - 1,986 sqft (27%)
GLAZING - 2,010 sqft (27%)
METAL PANELS - 3,466 sqft (46%)



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COPPERROCK

601 Fifth Street NW, Suite 300
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p. (616) 920-1655

www.copperrockconstruction.com

Thornapple River Mill Project

420 Mill Street
Hastings, Michigan

Building 'A' Exterior Elevations

Revisions:

Site Plan Review: 6/15/23

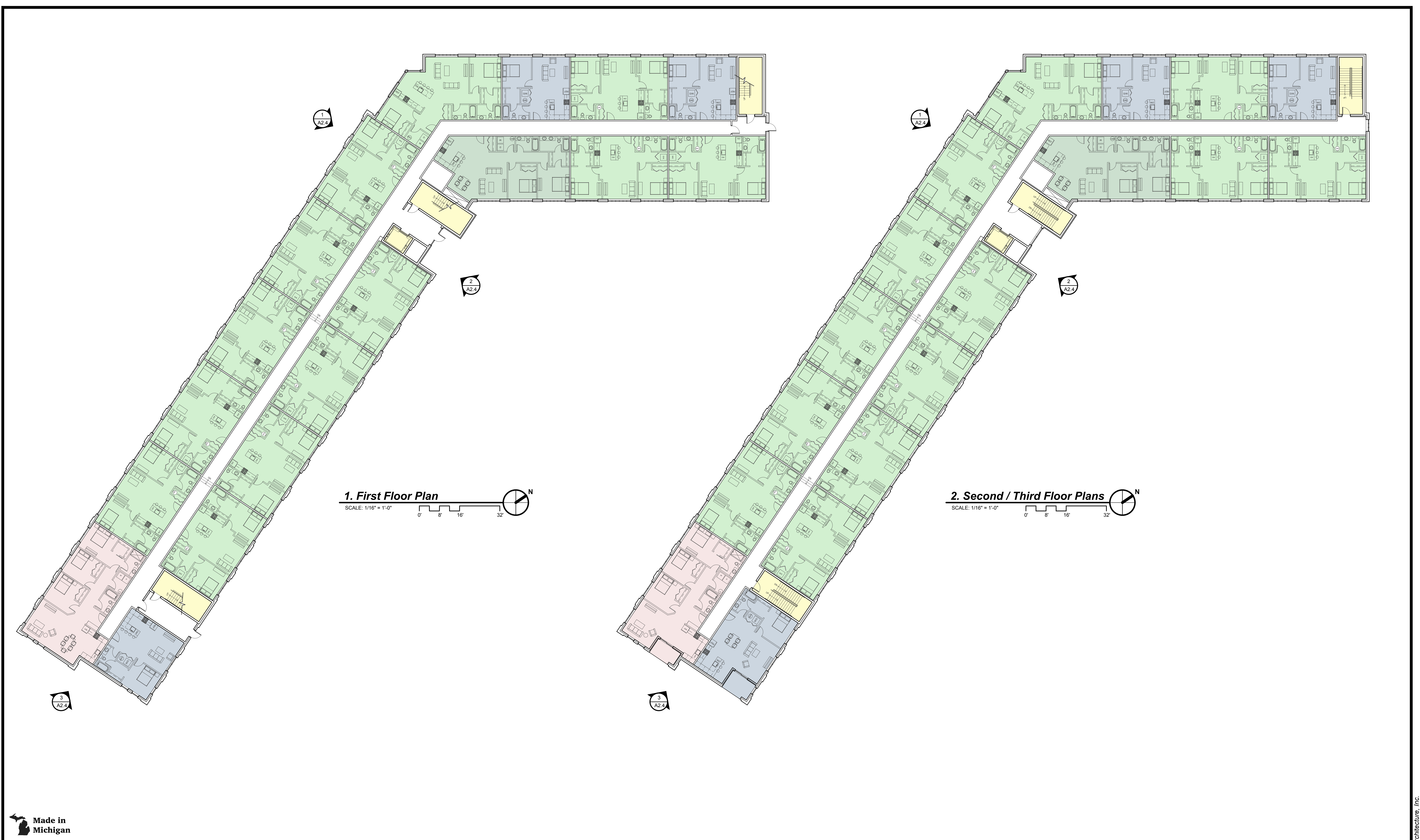
Project No: 222045

Issue Date: 6/15/23

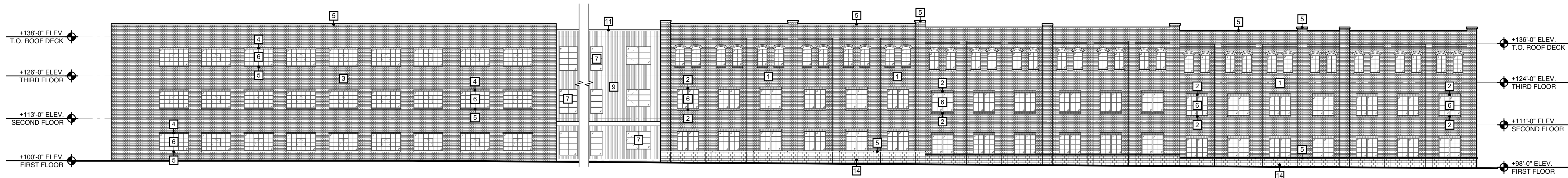
Reviewer: KCD

Drawn By: TRW

A2.2



<div>Made in Michigan</div> <div> 523 Ada Drive SE, Suite 200 PO Box 404 Ada, MI 49301 p. (616) 682-4570 www.dixonarch.com</div>	<div> 601 Fifth Street NW, Suite 300 PO Box 1763 Grand Rapids, MI 49501 p. (616) 920-1655 www.copperrockconstruction.com</div>	<div>Thornapple River Mill Project 420 Mill Street Hastings, Michigan Building 'B' Floor Plans</div>	<div>Revisions: Site Plan Review: 6/15/23 </div>	<div>Project No: 222045 Issue Date: 6/15/23 Reviewer: KCD Drawn By: TRW</div>	<div>A2.3</div>
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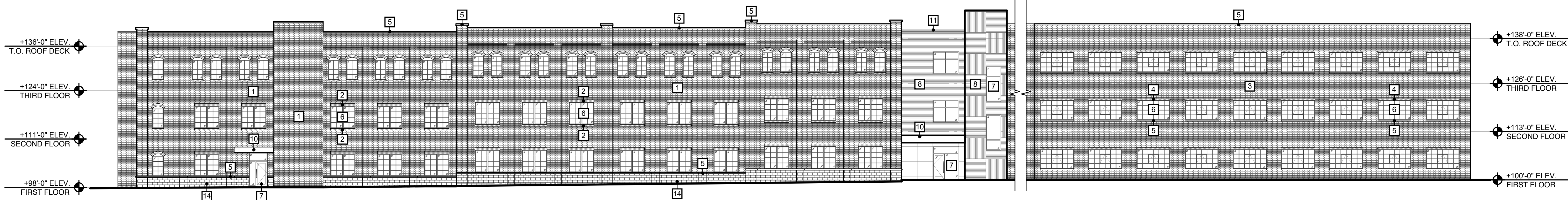


1. West Elevation(s) (Mill Street & Towards Building A)

SCALE: 1/16" = 1'-0"

MATERIAL CALCULATIONS

TOTAL SQFT - 17,526 sqft
BRICK VENEER - 12,866 sqft (73%)
GLAZING - 3,810 sqft (22%)
METAL PANELS - 850 sqft (5%)

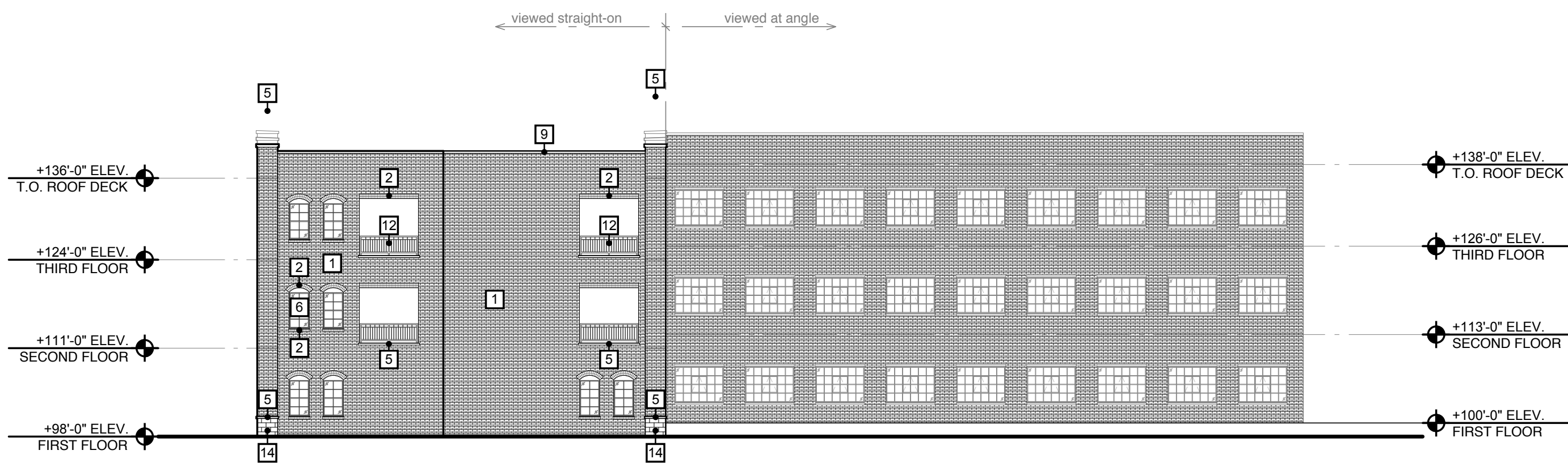


2. East Elevation(s) (Parking Lot)

SCALE: 1/16" = 1'-0"

MATERIAL CALCULATIONS

TOTAL SQFT - 15,280 sqft
BRICK VENEER - 11,110 sqft (73%)
GLAZING - 3,186 sqft (21%)
METAL PANELS - 984 sqft (6%)



3. South Elevation

SCALE: 1/16" = 1'-0"

MATERIAL CALCULATIONS

TOTAL SQFT - 2,520 sqft
BRICK VENEER - 2,101 sqft (83%)
GLAZING - 419 sqft (17%)

Exterior Materials Legend (OR DESIGN EQUIVALENT)

LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	MODULAR BRICK #1A	BELDEN OR ALT.	COMMON BOND	COLOR #1
2	MODULAR BRICK #1B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
3	MODULAR BRICK #2A	BELDEN OR ALT.	COMMON BOND	COLOR #1
4	MODULAR BRICK #2B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
5	PRECAST CONCRETE	TERRY'S	SMOOTH FACE	TBD
6	ALUMINUM-CLAD WINDOW	TBD	TBD	TBD
7	ALUMINUM STOREFRONT SYSTEM	TUBELITE	2" FACE WIDTH	TBD
8	CORRUGATED METAL PANEL	TBD	TBD	TBD
9	STANDING SEAM METAL PANEL	TBD	TBD	TBD
10	METAL PANEL CANOPY	TBD	TBD	TBD
11	PREFINISHED METAL PARAPET COPING	TBD	TBD	TBD
12	PREFINISHED METAL RAILING	TBD	TBD	PAINTED - COLOR TBD
13	STEEL CHANNEL BALCONY	TBD	TBD	GALVANIZED
14	CMU BLOCK VENEER	TBD	TBD	TBD
15				



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Thornapple River Mill Project

420 Mill Street
Hastings, Michigan

Building 'B' Exterior Elevations

Revisions:

Site Plan Review: 6/15/23

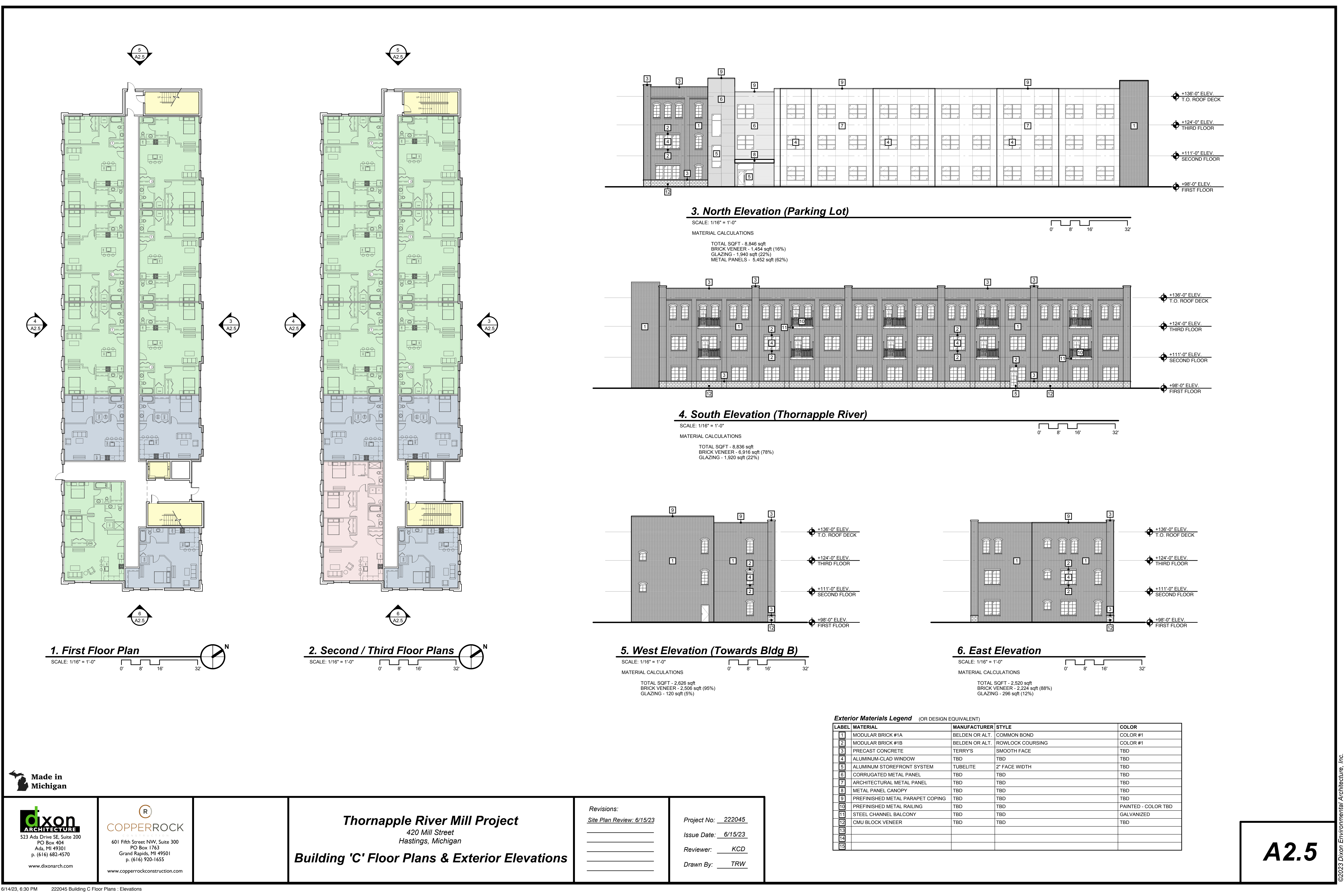
Project No: 222045

Issue Date: 6/15/23

Reviewer: KCD

Drawn By: TRW

A2.4



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Thornapple River Mill Project
420 Mill Street
Hastings, Michigan
Building 'C' Floor Plans & Exterior Elevations

Revisions:

Site Plan Review: 6/15/23

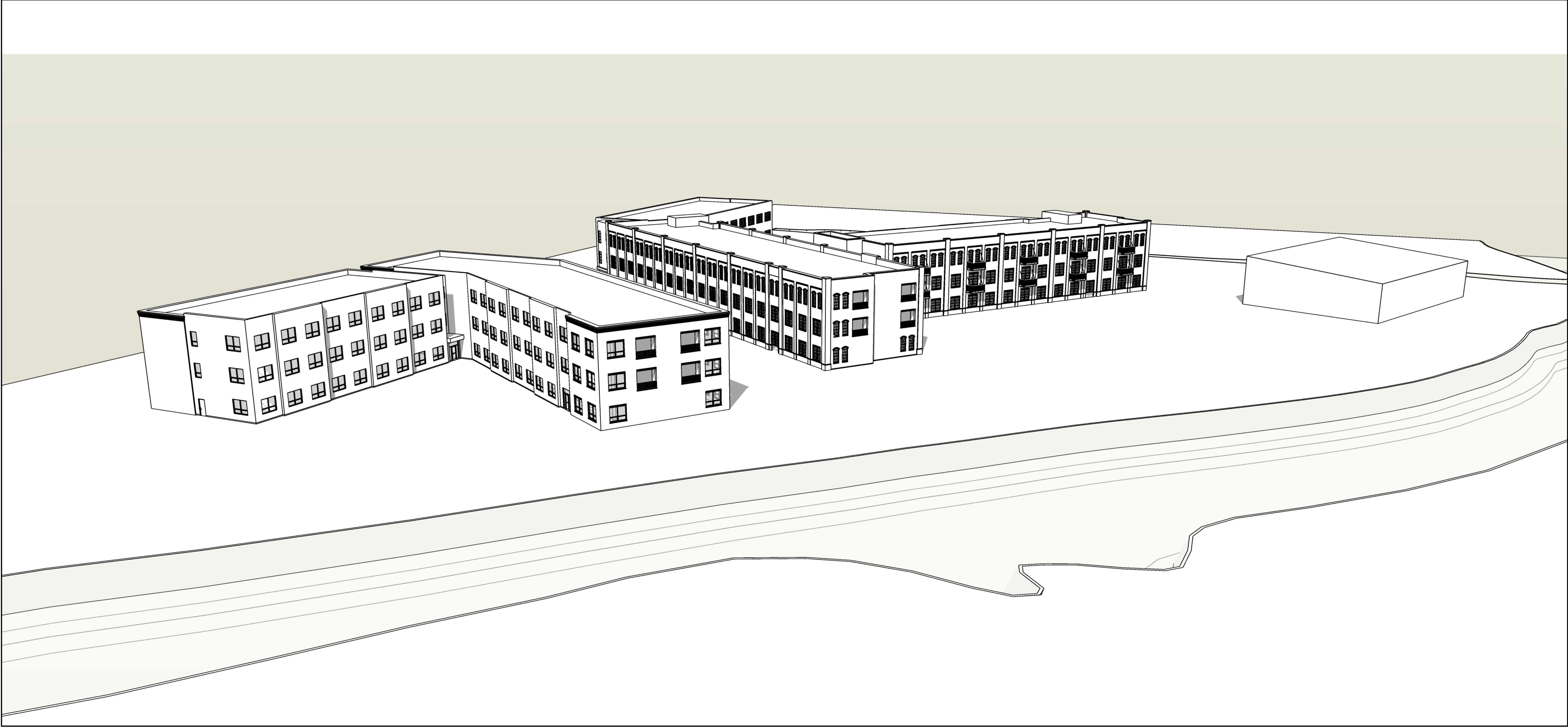
Project No: 222045

Issue Date: 6/15/23

Reviewer: KCD

Drawn By: TRW

A2.5



VIEW FROM ACROSS THORNAPPLE RIVER



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Thornapple River Mill Project

420 Mill Street
Hastings, Michigan

Site Mass Model

Revisions:

Site Plan Review: 6/15/23

Project No: 222045

Issue Date: 6/15/23

Reviewer: KCD

Drawn By: TRW

A3.1



MCKENNA

July 3, 2023

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

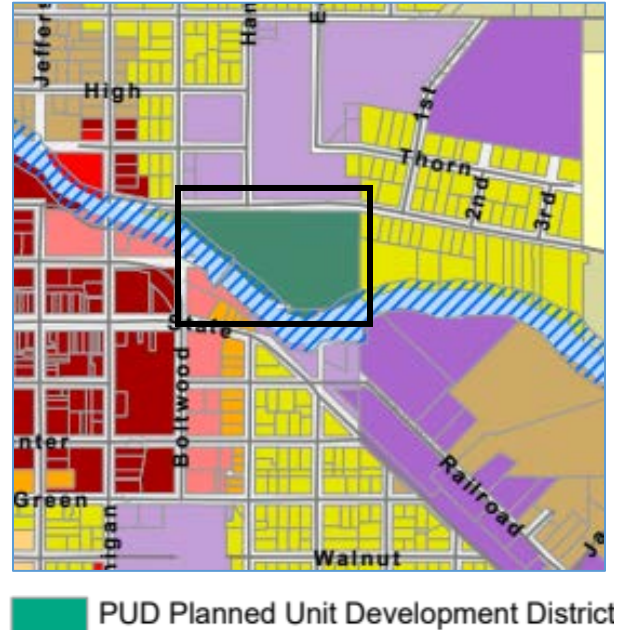
Subject: Mill Street Mixed Use
(Approved Site of Royal Coach PUD)

Location: 328/420 East Mill Street

Zoning: Royal Coach PUD

Request: Copperrock Construction requests Final Development Plan Review to facilitate the rezoning of an 9.55-acre consolidated parcel from Royal Coach PUD and D-1 to Mill Street PUD . . and the proposed redevelopment of the Royal Coach site.

Zoning Map



Specifically, the Mill Street Mixed Use development proposal will include the following elements:

- Demolition of existing structures and related site improvements
- Construction of 3 three-story multi-family buildings (Bldg A – 51 units (20,780 sq ft); Bldg B – 54 units (22,480 sq ft); Bldg C – 30 units (11,985 sq ft) – Total 135 units
- 10,080 sq ft Barry County Food & Arts Center
- Mill Street access (3 driveways); on-site parking; pedestrian connection to the downtown area by Hastings Riverwalk Bridge
- Largely avoids on-site wetland areas and the 100-year floodplain

The requested PUD Final Development Plan review shall be guided by Section 90-667 (e) and (f) – Final Development Plan Submission and Content and Section 90-668 – Standards of Approval.

Article VII – Planned Unit Development

Sec 90-663 – Qualifying Conditions – The subject property consists of 9.55 consolidated acres and is served by public water and sanitary sewer.

Sec 90-664 – Development Requirements

- Proposed Density – 24.5 units/acre of ‘net development area’
- Proposed Open Space – 36%
- **The proposed mix of residential and nonresidential uses . . and the permitted residential density . . shall be determined by the Planning Commission in consideration of the 4 standards set forth in subsection a).**

Sec 90-665 – Applicable Regulations

Requirements for lot size, width, area, yard setbacks, structure height, signs, parking, and landscaping shall be based on the applicable requirements of the A-1 District, **unless otherwise modified by the City to better meet the intent of the PUD.**

- Lot Size/Width/Area/Coverage – applicable lot dimensional requirements have been met
 - **24.5 units/acre proposed**
 - **multiple family buildings exceed 24 units/building**
- Setbacks – side and rear setback requirements have been met
 - **25 ft front setback required; 5 ft front setback proposed**
 - **compliance with the 30 ft building separation standard requires confirmation**
- Building Height – **35 ft building allowed; 40 ft building height proposed**
- Signs – **any proposed signage shall comply with Article XI and be reviewed/approved through the sign permit process.**



- Parking – site access and parking are proposed in compliance with applicable requirements, **with the following comments:**
 - 254 parking spaces required; 282 parking spaces provided
 - **Parking areas are located within the 100-yr floodplain and the FEMA floodplain**
 - **1/3 of required parking spaces shall be within a garage or carport; no carports/garages shown**
 - **10 b.f. parking spaces required; 9 b.f. parking spaces provided**
 - **parking lot lighting detail (pole height; fixture design) is not shown**
 - **parking lot drainage plans shall be reviewed/approved by the Director of Public Services**
- Landscaping – compliance with the buffering, front yard landscaping and parking lot landscaping requirements of Article XII noted
 - **Proposed plant types and sizes require modification to comply**
- Building Exterior – proposed building exterior materials comply with A-1 District standards
 - **Walls with >50% brick exterior require modification to comply (Building A – west wall instead of east wall/Building C – north wall instead of south wall)**
- Floor Area – all proposed dwelling units exceed 600 sq ft in area
- Open Space – 10% open space required; 35% open space proposed
- **A phased development plan has not been provided.**

The ordinance authorizing the Mill Street PUD must list the requirements that have been modified. The requirements requested for modification are:

- **Density – 16 units/acre allowed; 24.5 units /acre proposed**
- **Units per Building – 24 allowed; 54 proposed**
- **Front Setback – 25 ft required; 5 ft proposed**
- **Building Separation – 30 ft required; proposed unknown**
- **Building Height – 35 ft allowed; 40 ft proposed**





Sec 90-666 – PUD Design Considerations


The Final Development Plan positively responds to the 12 specific design considerations set forth in this Section. Special attention to the following elements of the proposal are needed:

- **Confirmation of compliance with the lighting, landscaping, and building exterior requirements will allow for a finding that the proposal is respectful of the character of the area and promotes harmonious and integrated development of the site.**
- Placement of buildings, site improvements and open space is largely respectful to the on-site wetlands and floodplain, Butler Creek, the Thornapple River frontage, and adjoining land use; **a reduction of parking and its encroachment into the 100-year floodplain is suggested.**
- Site design is pedestrian-friendly and promotes access to the downtown area through the extension of public sidewalk along the full frontage of Mill Street and the connection to the Riverwalk Bridge.
- **Approval of the requested dimensional modifications should be based on a determination that the increased density and intensity of development will still allow use of the site in character with the area due to overall site design elements.**
- **Approval should be subject to Department of Public Services and Fire Department review/approval.**

Sec 90-668 – Standards of Approval

1. It can be recognized that the proposed development will be of benefit to its users and the community through its introduction of missing middle housing into the City; the remediation and reuse of a vacant industrial property in the City; its effort to protect the natural resources on and near the site through site design; and, the encouragement of pedestrian activity in the downtown area through activated pedestrian routes.



- 
2. The property enjoys an advantageous position with respect to the downtown and the existing public infrastructure, reducing the likelihood that the development will place a burden on public facilities or surrounding properties.
 3. The proposed mixed use development is consistent with the Future Land Use Plan for the area and the Master Plan's objectives related to housing and natural feature protection.
 4. The stormwater management plan for the site and the protection of the natural features on and near the site will be key in limiting negative impacts from the development on surrounding properties. Building location/orientation and proposed landscaping will also contribute to mitigating impacts.
 5. The proposed development will be under single ownership/control.





Planning Commission Agenda Item Memorandum

To: The Planning Commission

From: Travis J. Tate, P.E., Director of Public Services

Subject: Site Plan Review of Thornapple River Mill

Meeting Date: July 3, 2023

Recommended Action:

- *Thornapple River Mill Development to grant the city a 30' wide public easement for the sidewalk connecting Mill Street to the abandoned railroad bridge (pedestrian bridge).*
 - *This is needed for city to be able to make repairs and maintenance to pedestrian bridge on the north side.*
 - *It is also needed to assure pedestrian and potentially non-motorized traffic the use of the sidewalk from the public outside of the development.*
- *Development to grant the city a 30' wide ingress/egress easement along the river bank for DPS to do as needed maintenance to the bridge at the river level.*
 - *This was a stipulation for the original Royal Coach PUD*
 - *Occasionally dead trees need to be removed from the upstream part of the bridge.*
- *Detention pond is not acceptable as located, because it is in the 100 year floodplain.*
 - *Alternatives can be used, such as infiltration (leaching) basins, rain gardens, infiltration trenches, ect.*
- *Add crosswalks and bump outs/landscape islands, along large parking lot for traffic calming and pedestrian traffic safety*
- *Add sidewalks that connect parking lots and internal sidewalks to main corridor.*
- *Landscape plan should be signed by a licensed landscape architect.*
- *Grading plan to provide spot elevations*
- *Missing irrigation plan and parking lot lighting plan*
- *Stormwater management and storm sewer design is missing.*

Sincerely,

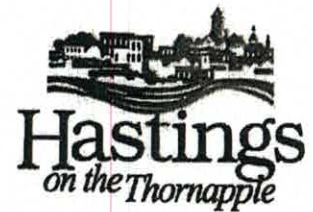
Travis Tate, P.E.

Director of Public Services



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: 6/12/2023

Applicant Name: KAMSTRA JOEL D
(Last) (First) (M.I.)
Address: 2200 JEFFERSON DR SE GRAND RAPIDS, MI 49507
(Street) (City, State, Zip)
Telephone: — 616-460-2390
(Business) (Cellular)
Email: JOEL@FRISIAGP.COM

Applicants Interest in Property: DEVELOPMENT CONSULTANT

Owners Name (If Different From Above): MEADOWSTONE APARTMENTS III, LLC

40 EENH DORN

Request:

- | | | |
|---|---|---|
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat or Condo |
| <input type="checkbox"/> Site Plan Review | <input checked="" type="checkbox"/> PUD | <input type="checkbox"/> PUD Phase Approval |
| <input type="checkbox"/> Other: _____ | | |

Address of Property: 710 BARFIELD DR, HASTINGS, MI 49058
PIN: 55-250-016-50 & 55-250-016-55

Legal Description:

< SEE ATTACHED >

Current Zoning: PUD Proposed Zoning: PUD

Applicable Fees: \$380 application / \$1,250 escrow

Applicants Signature: [Signature] Principal
(Title)

Staff Signature: [Signature] CAD/ZA
(Title)

Office Use Only

Application Number: _____	Date Advertised: _____
Filing Date: <u>6/12/23</u>	Date of Meeting: _____
Fees Paid: <u>\$380 / \$1,250</u>	Board Action: _____
To Clerks Office On: _____	Effective Date: _____

710 Barfield Dr, Hastings, MI 49508

Legal Description:

PPN: 55-250-016-50

THAT PART OF THE NE 1/4, SECTION 20, T3N, R8W, CITY OF HASTINGS, BARRY COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE CENTER OF SECTION 20; THENCE N00°05'00"W 145' FEET ALONG THE WEST LINE OF SAID NE 1/4 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE N00°05'00"W 219' ALONG SAID WEST LINE; THENCE S70°30'00"E 120'; THENCE S38°02'37"E 46.09'; THENCE N89°49'26"E 92.44'; THENCE N63°18'38"E 115.49'; THENCE N30°51'50"E 68.56'; THENCE S63°06'00"E 81.84'; THENCE N26°54'00"E 115'; THENCE S63°06'00"E 74'; THENCE N26°54'00"E 187.48' TO THE SOUTH LINE OF BARFIELD DRIVE; THENCE S55°45'00"E 144' ALONG SAID SOUTH LINE; THENCE S21°49'15"W 310.28'; THENCE N63°06'00"W 269.25'; THENCE S63°18'38"W 197.84'; THENCE S00°10'34"E 116.05'; THENCE S89°49'26"W 235' TO THE PLACE OF BEGINNING

PPN: 55-250-016-55

THAT PART OF THE NE 1/4, SECTION 20 T3N, R8W, CITY OF HASTINGS, BARRY COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE E 1/4 CORNER OF SECTION 20; THENCE S89,49'26"W 1508' ALONG THE SOUTH LINE OF SAID NE 1/4 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE S89, 49'26"W 1141.71' ALONG SAID SOUTH LINE TO THE CENTER OF SECTION 20; THENCE N00,05'00"W 145' ALONG THE WEST LINE OF SAID NE 1/4; THENCE N89,49',26"E 235'; THENCE N00,10'34"W 116.05'; THENCE N63,18'38"E 197.84'; THENCE S63,06'00"E 269.25'; THENCE N21,49'15"E 310.28' TO THE SOUTH LINE OF BARFIELD DRIVE; THENCE S55,45'00"E 452.8' ALONG SAID SOUTH LINE; THENCE S00,10'34"E 258.53' ALONG THE WEST LINE OF MEADOWSTONE DUPLEX PLAT TO THE PLACE OF BEGINNING

CITY OF HASTINGS
201 E STATE STREET
HASTINGS MI 49058-1954

Receipt No: 1.140545

Jun 12, 2023

Joel Kamstra

OTHER REVENUE - Escrow for Meadowstone Joel Kamstra 710 Barfield 101-000-283-330 PerfDep-Meadowstone Apts	1,250.00
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Total:	1,250.00
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CHARGES FOR SERVICES - APPLICATION FEE (IE BEIG) Escrow for 710 Barfield Dr, Meadowstone Apartments 101-100-648-000 Application Fees	380.00
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Total:	380.00
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CHECK	Check No: 1009	1,250.00
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Payor: Joel Kamstra

CHECK	Check No: 1010	380.00
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Payor: Meadowstone Apartments III, LLC

Total Paid:	1,630.00
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Total Applied:	1,630.00
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Change Tendered:	.00
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Duplicate Copy

06/12/2023 4:06 PM



June 12, 2023

Meadowstone Apartments – Site Plan Review (Planning Commission meeting July 3, 2023)

Nature of the Project

Eenhoorn Development is proposing additional development/next phase of multi-family housing in the Meadowstone PUD. Per the PUD approved 20+ years ago, the PUD specified a total of 156 dwelling units. 72 units exist on the site today, so the proposed 90 units would exceed the units previously prescribed by 6 units. The developer has been a long-term property owner in Hastings, and is excited to further its investment into the community through construction of much needed housing. The subsequent phase of development within the Meadowstone PUD looks to bring more efficient apartment units than what currently exists on the site, as well as seeks to develop a more efficient site plan that will create cohesiveness within the development as new units relate to the existing buildings. The project proposes adding a clubhouse/leasing office to the property which will serve tenants through a fitness center and community space, and also bring on-site management to the property which has not previously been possible. The proposed development will also add amenities to the property such as a resident dog park, sport courts, and space for resident gardens. Overall, the project will create a desirable development with modern finishes, and create more options for housing to the growing community of Hastings.

Proposed density, number, and types of dwelling units if a residential PUD

The density of the property (proposed phase + existing) will be ~10 units / acre. The existing PUD allows for up to 156 dwelling units across 13 buildings. The site currently has 72 units across 6 buildings. The site plan presented proposes 90 units spread across 5 buildings – a total of 162 dwelling units across 11 buildings. As proposed, this increases the density previously approved by 6 units, which is driven by the building type and seeking to make the development as efficient as possible from a constructability standpoint. The dwelling units are contemplated to be all 1 bedroom units at this point.

Statement describing how the proposed project meets the objectives of the PUD

This phase of the Meadowstone PUD meets the objectives of the Meadowstone PUD by delivering additional units in line with the PUD when it was approved more than 20 years ago. The phase of development as presented makes some updates to the past PUD in line with modern construction and planning principals – such as bringing the buildings closer together to create a greater community feel, constructing new buildings with modern methods and materials, and offering units that are in line with what the market demands which are slightly smaller square footages than already exist on the property. With the addition of the new units – Meadowstone will offer a more diverse unit mix as tenants will have the ability to select between 1 or 2 bedroom options (existing units are exclusively 2 bedroom) and will also create a greater community feel through updated positioning of the buildings and inclusion of more community spaces.

The phase will have benefit to the community by delivering units to the market and creating a more attractive multifamily community for residents to live. The units will also create 90 new units to add to the tax base of the City.

The additional density over what was approved in the initial PUD (net + 6 units) will deliver more units which is a positive, and will not create a material increase in the need for public services, facilities and utilities, and would not place a material burden on the subject property or surrounding property. The phase will also not create any burden on the surrounding natural environment, and in fact the update to the site plan will serve to mitigate further impacts to the natural environment by locating buildings closer together and preserving greenspace.

The PUD phase as proposed is consistent with the Hastings master plan in that it delivers more diverse housing options as well as meets the intention of the Meadowstone PUD by delivering the housing units prescribed. The units are proposed in a development where the units were previously planned and approved.

The proposed development shall not have a significant negative impact on surrounding properties – its development is concentrated to the center of the site, meets all proper buffers, will provide adequate parking, and will not create significant demand for local resources or utilities. The phase would positively contribute to the overall PUD.

The site is under singular ownership and control and Eenhoorn would have sole responsibility for completing the project in conformity with the approved plans.

Statement from a registered professional engineer describing how the proposed project will be served by public water, sanitary sewer, and storm drainage

Per the general notes section denoted on the submitted site plan dated 6/9/2023:

“4. Surface drainage shall be directed to the existing detention pond by enclosed storm sewers as was originally designed.

5. The proposed buildings will be serviced by the existing public utilities, future buildings will be serviced by watermain and sanitary sewer as shown schematically on the plan.”

-Robb Lamer, P.E. | Exxel Engineering

Proof of ownership or legal interest in the property

Proof of ownership has been provided to Dan King, Community Development Director | Zoning Administrator in the form of a deed.



12 June 2023

RE: **Meadowstone PUD (Ph. 2)**
IA Project No. 20221208

Preliminary PUD Review
PUD Narrative

On behalf of Eenhoorn LLC, we are excited to present our concept for the second phase of the Meadowstone PUD Development in the City of Hastings. Our overall vision is to improve the existing PUD by application for a new PUD, however one that carries forward the existing conditions and foundation that the original PUD was established upon in 1998. This second phase of multi-family development has an emphasis on desirable quality of life characteristics. These include walkability, activities, amenities, quality living units and an enhanced sense of community.

Site Concept

The site's land plan is to extend existing corridors and underground infrastructure for vehicle and pedestrian movement that fosters safety and comfort with sidewalks, landscaping and architecture that relate well together. Larger areas of existing asphalt and parking areas will give way to a well-choreographed neighborhood network of properly scaled buildings, in closer proximity with one another in a more neighborhood-minded approach. Our primary ingress/egress paths from Barfield Dr. will be in the same locations, using existing underground infrastructure and circulation pathways.

Our site's amenities are positioned throughout this phase of the multi-family neighborhood development include:

- Activity lawn/park
- Playground area
- Outdoor recreation courts
- Outdoor social space with open and covered terraces
- Dog Park
- Robust network of sidewalks and paths

We are leaving the current natural area to the site's east unaffected as its current wetland status and focusing on the south edge of the property along the heavy natural landscape buffer.

Architecture Concept

Building 'F' - Community Building - We are proposing Building 'F' as a community social node with a community room, restrooms, a fitness area, as well as leasing and management offices. Its central location to both existing development and proposed new development optimizes its usability and accessibility to residents. (6) one-bedroom apartments will exist in two stories above the main level community functions.

Buildings A, B, C, D/E - Apartment Buildings - We are proposing a total of (84) one-bedroom apartments in these four buildings (for a total of 90 units including the (6) units in Building F) to complement the existing inventory of (72) two-bedroom apartments. The total development unit count will result in (162) units.

The architecture will be a more contemporary, yet familiar look, with a freshness created by simple forms and relatable residential components. Our material palette will have both masonry and typical siding materials. For the residential structures, properly scaled gables, and residential detailing. New buildings will be three story with walk-up units by enclosed interior stairs.

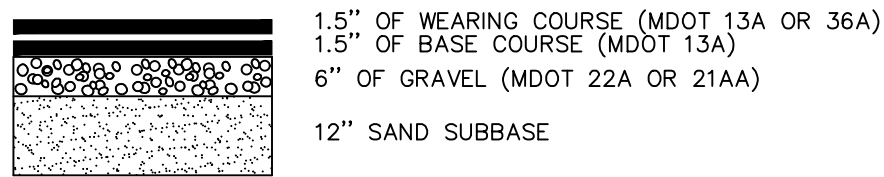
Carports and Garages – Additional covered parking areas, including covered carports and an garage building (with facilities maintenance shop) will be added as an additional resident amenity. Both covered and uncovered parking counts are provided on the site plan drawing for reference.

We have taken great care to work with the existing PUD layout and infrastructure and have aligned this new development to become a more community-centered residential “neighborhood”. The walking network and resident amenities will enhance the existing PUD and elevate the living experience for both the existing and the new residents of Meadowstone. This has been a careful and thoughtful decision to bring new life, provide much-needed new housing and create a vibrant new neighborhood in the City of Hastings.

BENCHMARK #1 ELEV. 836.63 (UNKNOWN DATUM)
TOP OF WLY FLANGE BOLT ON HYDRANT SE OF
SW CORNER BUILDING #614

BENCHMARK #2 ELEV. 834.24 (UNKNOWN DATUM)
TOP OF SW FLANGE BOLT ON HYDRANT 170'± SE
OF SE CORNER BUILDING #614

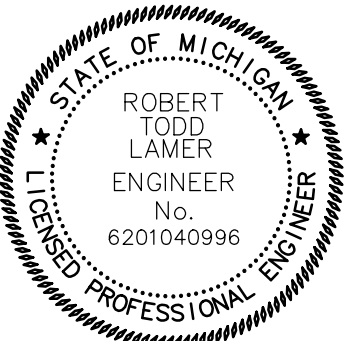
- GENERAL NOTES:
1. DEVELOPMENT OF THIS SITE SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND CITY REQUIREMENTS.
 2. SITE LIGHTING SHALL BE DIRECTED AWAY FROM THE ADJACENT PROPERTY. SEE PLAN FOR LOCATION OF LIGHTS.
 3. SIGNAGE SHALL MEET CITY REQUIREMENTS
 4. SURFACE DRAINAGE SHALL BE DIRECTED TO THE EXISTING DETENTION POND BY ENCLOSED STORM SEWERS AS WAS ORIGINALLY DESIGNED.
 5. THE PROPOSED BUILDINGS WILL BE SERVICED BY THE EXISTING PUBLIC UTILITIES, FUTURE BUILDINGS WILL BE SERVICED BY WATERMAIN AND SANITARY SEWER AS SHOWN SCHEMATICALLY ON THE PLAN.
 6. EXISTING ZONING IS PUD WHICH ALLOWS MULTIFAMILY HOUSING AS SHOWN ON THE PREVIOUSLY APPROVED FINAL PUD PLAN.
 7. DISTRICT REGULATIONS:
FRONT: 25'
SIDE: 25' (TOTAL 10' MINIMUM)
REAR: 30'
DISTANCE BETWEEN MULTIFAMILY BUILDINGS: 30'
MAXIMUM BUILDING HEIGHT: 35'
 8. PARKING:
FOR MULTIFAMILY DWELLING UNITS, REQUIRED PARKING = 1.5 SPACES PER DWELLING UNIT, ONE THIRD OF WHICH SHALL BE WITHIN A GARAGE OR CARPORT.
- EXISTING DWELLING UNITS = 72
REQUIRED SPACES = 72 D.U. X 1.5 SPACES/D.U. = 108 SPACES
PROPOSED DWELLING UNITS = 90
REQUIRED SPACES = 90 D.U. X 1.5 SPACES/D.U. = 135 SPACES
- EXISTING SPACES:
OUTDOOR SPACES = 97
CARPORT SPACES = 49
EX. TOTAL = 146
- PROPOSED SPACES:
OUTDOOR SPACES = 90
CARPORT SPACES = 17
GARAGE SPACES = 9
PR. TOTAL = 116 INCLUDING 4 BARRIER FREE SPACES



STANDARD PAVING CROSS SECTION
*SOILS REPORT RECOMMENDED FOR PAVEMENT DESIGN

Description:
That part of the NE 1/4, Section 20, T3N, R8W, City of Hastings, Barry County, Michigan, described as: Commencing at the E 1/4 corner of Section 20; thence S89°49'26"W 1508.00 feet along the South line of said NE 1/4 to the PLACE OF BEGINNING of this description; thence S89°49'26"W 1141.71 feet along said South line to the center of Section 20; thence N00°05'00"W 145.00 feet along the West line of said NE 1/4; thence N89°49'26"E 235.00 feet; thence N00°10'34"W 116.05 feet; thence N63°18'38"E 197.84 feet; thence S63°06'00"E 269.25 feet; thence N21°49'15"E 310.28 feet to the South line of Barfield Drive; thence S55°45'00"E 452.80 feet along said South line; thence S00°10'34"E 258.53 feet along the West line of Meadowstone Duplex Plat to the place of beginning.

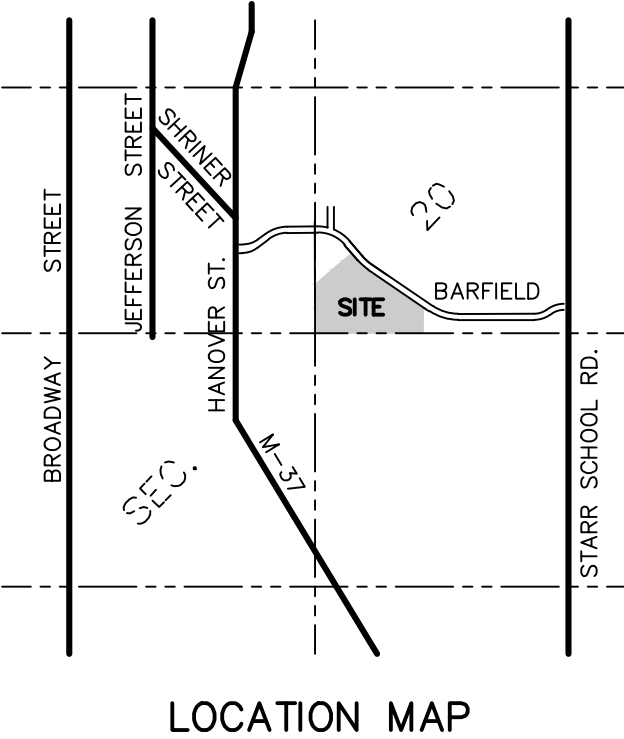
- NOTES:
1. Utility structures visible on the ground surface have been located and shown per actual measurements.
 2. Underground utility lines have been shown per available records and should not be interpreted as the exact location nor the only utilities in this area.
 3. Description and easements as shown hereon are based on Stewart Title Company Policy No. 0-0000-094642948, dated March 6, 2023.
 4. The Declaration of Drainage Easement recorded in Liber 632, Page 937 does not lie within the subject property.



SCALE: 1" = 50'
1' CONTOUR INTERVAL

LEGEND

- UTILITY POLE & GUY WIRE
- LIGHT POLE
- HYDRANT
- WATERMAIN VALVE
- CATCH BASIN
- MANHOLE
- FENCE LINE
- OVERHEAD WIRES



PLANNED UNIT DEVELOPMENT PLAN
RE: MEADOWSTONE APARTMENTS
FOR: FRISIA GROUP
ATTN: JOEL KAMSTRA
231 FULTON STREET
GRAND RAPIDS, MI 49503
PART OF THE NE 1/4, SECTION 20, T3N, R8W, CITY OF HASTINGS, BARRY COUNTY, MICHIGAN

exxel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY: JUB
APPROVED BY: RTL
FILE NO.: 231186E
DATE: 06/12/2023

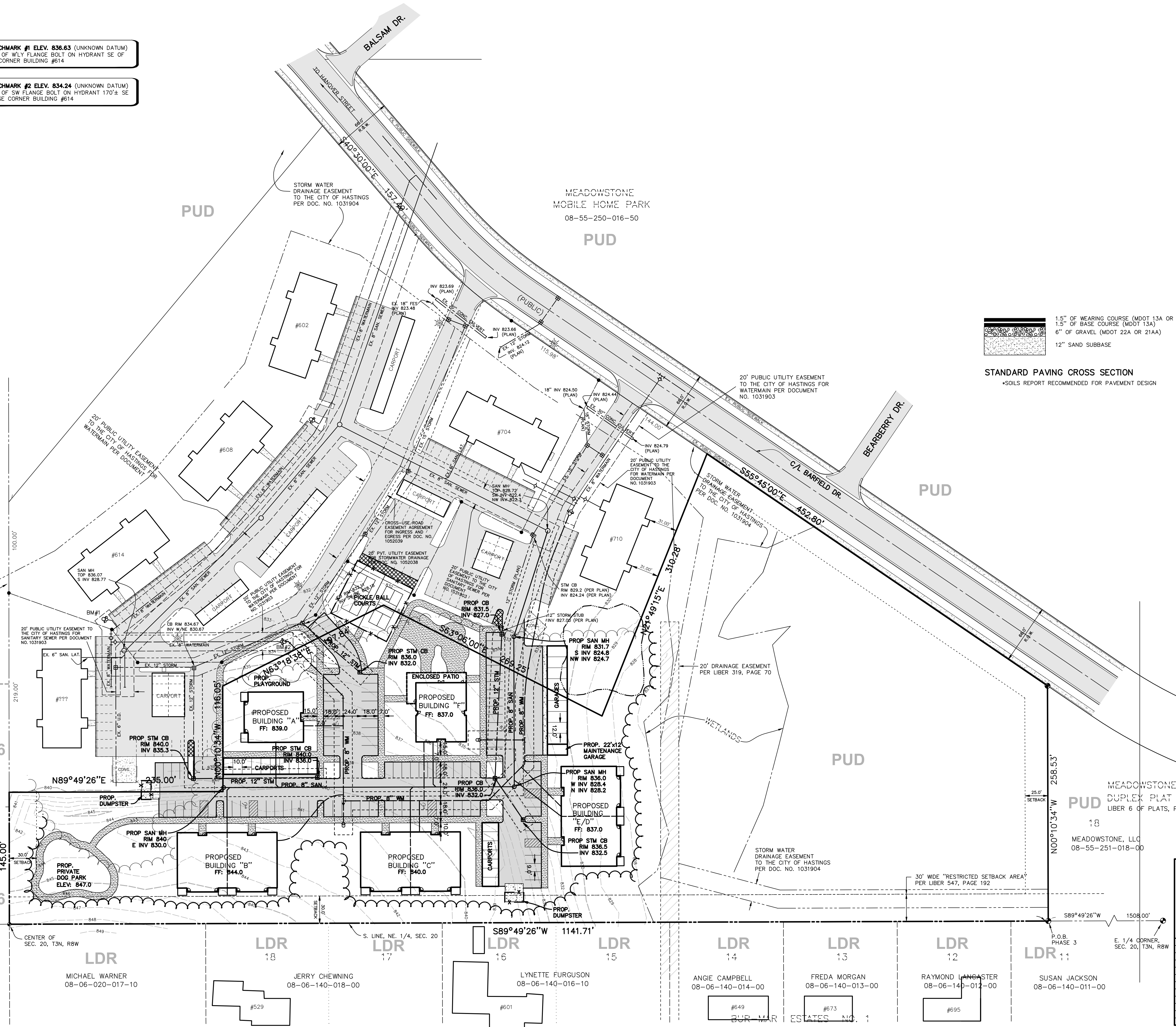
SHEET 1 of 1

BARRY COUNTY COM. MENTAL HEALTH AUTH
08-55-250-016-30 SUPERVISOR GLASSOW'S ADDITION
TO THE CITY OF HASTINGS
LIBER 3 OF PLATS, PG. 3

RB PROPERTIES LLC
08-55-250-018-00

RB PROPERTIES LLC
08-55-250-019-00

P:\Projects\2023\231186\Drawings\231186.dwg, PUD, 01/22/2023 2:01:22 PM, bmk



July 3, 2023

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058



Subject: Meadowstone Apartments III LLC
(Approved Site of Royal Coach PUD)

Location: 710 Barfield Drive

Zoning: Meadowstone Planned Unit
Development

Request: Meadowstone Apartments III, LLC
Construct five (5) buildings with a
total of 84 residential units.

Construct a sixth building "F" that will house community
space on the first floor with four (4) units on the second
floor and a possible third floor with four (4) units.

Total project unit count would be 88-92 units.

Specifically, the Meadowstone Apartments III development proposal will include the following elements:

- Construction of five (5) buildings with building "A" containing 12 units, "B" containing 24 units, "C" containing 24 units, and "E/D" containing 24 units.

- Construction of one (1) building “F” for use as a community center, fitness center, and leasing and management office. The second and possible third floor of the building would contain four (4) units on each floor. The total unit count for the project could be up to 92 units.
- Amenities to include activity/lawn park, playground area, recreation courts, outdoor social space, dog park, and networks of paths and sidewalks
- Additional covered parking areas

Division 90- VII-3 Meadowstone Planned Unit Development

Sec 90-698 – Applicable Provisions – (b)(2)

- The apartment and office portions of the PUD shall conform to the requirements of article VI, division 10 of this chapter, except that the requirements of subsections 90-454(h) and 90-452(b) shall be waived to permit 12 units per building and to permit building entrances to be more than 150 feet from a public street.
- **Per Section 90-674 (b) A major change to an approved PUD shall comply with the filing procedures for a PUD as contained in this article. Major changes include but are not limited to increase in density or number of dwelling units, increase in land area or building size, except as noted above, or addition of other uses not authorized by the original PUD approval. The zoning administrator shall determine if other similar changes constitute a major amendment and may consult with the chair of the planning commission in making this decision. Buildings “B”, “C”, “D/E” proposed to contain 24 units. 12 units per building were approved in the Meadowstone Planned Unit Development per Ordinance # 317 on March 22, 1999. Six buildings with a total of 72 units were completed during the first phase of the project. Seven additional buildings containing a total of 84 units were approved.**

Sec 90-698 (b)(5) Prior to the occupancy of those apartment buildings closest to the south lot line, the applicant shall transplant evergreen trees from the site to the south lot line to screen these apartment buildings from the single-family houses to the south. Final approval of the landscape plantings shall be subject to inspections by the director of public services, and no occupancy permits for those buildings will be issued until such approval is obtained.

Brief Summary of Modifications from Meadowtone Planned Unit Development

- **Approved PUD indicated 13 total buildings with 156 total units**
- **Proposed modification indicates 11 total buildings with up to 164 units**
- **Approved PUD did not include a mixed-use component**
- **Proposed PUD indicates a community center with leasing office and other amenities**
- **Approved PUD did not include public space components**
- **Proposed PUD includes public space components such as dog park, sports courts, and space for residential gardens**

Submitted by Dan King

Community Development Director/Zoning Administrator

City of Hastings
Planning Commission
Work Tasks for 2023
STATUS REPORT FOR JULY 2023

1. Continue to work with Hastings Charter Township, Rutland Charter Township and others in regional growth planning and management efforts.
2. Review the Court Street PUD using hypothetical build out scenarios.
3. Consider actions strategies as identified in the Master Plan to accomplish specific desired outcomes within commercial and residential zoning districts.

- Provide for a wide variety of housing types, sizes, and densities.
- Maintain existing housing stock and infrastructure.
- Encourage residential development within areas targeted for growth and investment.
- Provide for land use options/incentives designed to encourage reuse of vacant buildings and infill development.

4. Consider zoning amendments related to the M-37 Access Management Plan.
5. Monitor plan to construct sidewalks and trail system throughout the City of Hastings.

- Ongoing. City seeking funding where available.

6. Consider changes to the infrastructure requirements to accommodate denser or more traditional residential development.
7. Consider development of “Complete Streets” ordinance or policy.
8. Consider the following principles to align with Blue Zones Activate Program:

- Offer incentives or expedited approvals for the following Blue Zone principles:
 - Locate new development adjacent to existing infrastructure
 - Create a mixed-use community
 - Build pedestrian amenities (sidewalks, lights, benches, etc) on both side of the streets
 - Provide public facilities for physical activity such as shared-use paths or trails
 - Create bike lanes and bike parking
 - Create opportunities for resident interaction
 - Create mid-block cross walks for traffic calming

9. Review Sec. 90-973 Signs in the B-1, B-2, B-3, B-4, and B-6 districts (as related to portable sidewalk ground signs).
10. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements.
11. Continue path to Redevelopment Ready Communities (RRC) certification by reviewing zoning related codes and procedures.
12. Review Section 90-929 Supplemental Parking Requirement in Residential Zones and other pertinent sections relating to the parking of semi-tractors, semi-trailers, and vehicles with two or more rear axles.

Ordinance #615 adopted by City Council on June 26, 2023.

13. Review and consider adding text regarding green infrastructure components.
14. Review subdivision text regarding street width.
15. Review Article 90-XII Landscaping Section 90-1010 for permitted trees that are an invasive species.
16. Review Section 90-883 (b)(4) pertaining to the maximum driveway width serving a single-family or two-family dwelling.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowstone Mobile Home Park 1812 Lavender Drive	1.14.20	1.14.20	2.3.20	Approved	PED X Insulation from roadway Natural feature buffer	
EWB Properties, LLC 400 and 410 W. State Street	2.7.20	2.7.20	3.2.20	Approved	Stormwater runoff compliance	
Hastings Pro Auto Service 229 N. Broadway	10.25.21	10.25.21	3.7.22	Approved	Dumpster enclosure Sidewalk installation Fire Dept. review of traffic circulation	
Meadowstone Mobile Home Park 1812 Lavender Drive	1.13.22	1.13.22	5.2.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
EWB 400 W. State Street	7.14.21	7.14.21	6.6.22	Approved	Monument sign on State - Removal Illumination must meet standards	
City of Hastings Parking Lot 8	8.19.22	NA	NA	Administrative	Fencing details Parking space width compliance Canopy tree type compliance	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Serenity Village 700 East Woodlawn	9.28.22	9.28.22	11.7.22	Approved	Landscaping Off Street Loading Ped. Access from sidewalk	
Tyden Lofts 326 W. State Street	10.17.22	10.17.22	11.7.22 12.5.22	12.5.22	Signage approved via permit Engineering approved by Director Tate	
Whitewater Car Wash 1105 W. State Street	12.21.22	1.11.23	2.6.23	2.6.23	Landscaping per PC Minutes 2.6.23	
City of Hastings and Barry County Central Dispatch 1037 East State Street	NA	3.27.23	5.1.23	5.1.23	Administrative approval of performance standards. Waiver of side setback requirement	