



HASTINGS PLANNING COMMISSION COMMUNICATION

DATE: June 2, 2023

TO: Members of the Planning Commission and Staff

FROM: Dan King

SUBJECT: Information – June 5, 2023 Planning Commission Meeting.

CopperRock Construction will be on the agenda for a preliminary site plan review for parcels located at 328 and 420 West Mill Street. I have included the section of the Code pertaining to Planned Unit Development preliminary reviews for your reference. Due to the timing of when the application was presented to the City, a staff report from Rebecca Harvey will either be delivered via separate email on Monday or by hard copies prior to the Planning Commission meeting Monday evening.

1. *Planning commission review of preliminary plan.* The planning commission shall review the preliminary development plan and shall make reasonable inquiries of the applicant. This review shall take place within 30 days of receipt by the building inspector of all materials required in the application unless an extension is mutually agreed upon between the planning commission and the applicant. The planning commission shall review the preliminary development plan according to the provisions of sections 90-663 through 90-666 and transmit its recommendations for changes or modifications of the preliminary development plan to the applicant.

Sec 90-663 Qualifying Conditions

1. In order to be eligible for PUD rezoning, the proposed area shall consist of a minimum of one acre.
2. Public water and sanitary sewer shall be available to service the site.

Sec 90-664 Development Requirements

1. *Density.* The density in areas master plan for residential use shall be as follows:

Master Plan Category (equivalent zoning district)	Permitted Maximum Density
RR(RR), LDR(RS), MOD(R1), MED(R2)	6
MFL(A2), MFH(A1), A/O(AO)	16

2. In each case, the maximum density for residential uses shall be determined by the council after review by the planning commission based on the following standards. The residential uses shall:
 1. Be designed, constructed, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.
 2. Be served adequately by essential public facilities and services, such as highways, streets, pedestrian ways, police and fire protection, drainage structures, refuse disposal, water and sewer.
 3. Not create excessive additional requirements at public cost for public facilities and services.
 4. Be developed in accordance with the intent for a PUD as contained in this article.
3. *Dwelling unit computation.* The density permitted by the council shall be applied to the net development area of the site in order to determine the maximum number of dwelling units permitted for the site. The net development area is determined by subtracting the following from the gross or total site area:
 1. Area within existing road rights-of-way.
 2. Land within the 100-year floodplain.
 3. Areas permanently inundated by water.
 4. Areas devoted to nonresidential uses.
4. *Open space.* Each PUD shall contain open space areas equal to minimum of ten percent of the total site area devoted to residential use. Such open space shall be maintained by the developer or homeowner's association and shall be set aside for the common use of the home or lot owners within the PUD with written assurances that the required open space shall remain open and be properly maintained. For purposes of this section, open space shall only be considered to be those areas having a minimum dimension 50 feet by 100 feet. Land in streets, sidewalks, and parking areas shall not be considered as open space.
5. *Mixed uses.*
 1. Residential and nonresidential uses may be permitted within the same PUD district upon demonstration to the city council that such uses meet the intent of this article and the standards of section 90-663(b). It shall also be demonstrated that the nonresidential uses will not negatively impact the residential uses and that the nonresidential uses will be separated and buffered from residential uses in a manner consistent with good land planning principles.
 2. The permitted density for residential uses in a mixed-use development shall be determined by the council upon recommendation of the planning commission, based on the type of dwelling unit proposed and the standards contained in subsection (a) of this section.

Sec 90-665 Applicable Regulations

Requirements for lot size, width, area, yard setbacks, structure height, signs, parking landscaping, and general provisions for the PUD shall be based upon the applicable requirements of the Hastings Zoning District which corresponds to the proposed land use or the land use recommended by the Hastings Master Plan as follows:

Proposed Land Use or Master Plan Recommendation	Applicable Zoning Ordinance District Requirements
Rural residential	RR
Low density	RS
Moderate density residential	R1
Medium density residential	R2
Multi-family low density	A2
Multi-family high density	A1
Mobile home park	RM
Apartment/office	A/O
Office	O
Commercial	B2
Central business district	B1
Industrial	I1 or I2

The city council however, based upon a recommendation from the planning commission, may increase, decrease, or otherwise modify any of these requirements if such modification would better satisfy the intent of the PUD chapter. Zoning district requirements not modified shall otherwise apply to the proposed use.

The ordinance authorizing the PUD must list those zoning ordinance requirements which are modified.

Sec 90-666 PUD Design Considerations

A proposed PUD shall take into account the following specific design considerations, as they are necessary to ensure compliance with all applicable regulations and to ensure the compatibility of the project with adjoining properties and the general area in which the property is located:

1. Perimeter setbacks.
2. Street drainage and utility design with respect to location, availability, ownership and compatibility.
3. Underground installation of utilities.
4. Insulation of pedestrian ways from vehicular streets and ways.
5. Achievement of integrated and harmonious development with respect to signs, lighting, landscaping, and construction materials.
6. Noise reduction and visual screening mechanisms for adjoining residential uses.
7. Ingress and egress to the property with respect to automotive and pedestrian safety and convenience, traffic flow and control, street capacity, and emergency access.
8. Off-street parking, loading, refuse and other service areas with respect to ingress and egress and the potential effects of noise, glare, vibration and odor emanating from such facilities on adjoining properties and uses.
9. Screening and buffering with respect to dimensions and character.
10. Yard areas and other open space.
11. Density and intensity of development expressed in terms of percentage of gross and net land area coverage and/or gross and net housing units per acre and the height of buildings and other structures.
12. The preservation of natural resources and natural features.

HASTINGS PLANNING COMMISSION A G E N D A

Monday June 5, 2023

1. **Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
2. **Pledge of Allegiance**
3. **Approval / additions / deletions to agenda**
4. **Approval of Minutes** May 1, 2023 Draft Meeting Minutes of the Planning Commission *
5. **Informative Items:** None
6. **Public Hearings:**
 - A. Public hearing to review and consider a rezoning request from Jennifer and Randall Sykes at 1117 South Michigan Avenue from R-S Suburban Residential to R-2 One Family Residential. *
 - B. Public hearing to review and consider a conditional rezoning request from Green Development Ventures at 1107 North Ferris Street from R-1 One Family Residential to R-2 One Family Residential. *
 - C. Public hearing to review and consider a text amendment to Chapter 90, Article 90-III, Section 90-87 Variances Prohibited. *
 - D. Public hearing to review and consider amending Chapter 90, Article 90-I, Section 90-1 Definitions to add the definition of a large single rear axle truck, and amending Chapter 90, Article 90-VI, Division 90 VI – 14 D1 Industrial District, Section 90-553 to add subsection (g), and amend Chapter 90, Article 90-X Off Street Parking, Section 90-929. *
7. **New Business:**
 - A. Preliminary site plan review for CopperRock Construction PUD at 328 and 420 East Mill Street.
8. **Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2023 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
9. **Open Public Discussion and Comments**
10. **Staff Comments**
11. **Commissioner Comments**
12. **Adjourn**

*Indicates attachment

CITY OF HASTINGS
DRAFT PLANNING COMMISSION MEETING MINUTES
May 1, 2023

The meeting was called to order at 7:01 p.m. by Chairperson Hatfield with the following Commissioners present: Lois Bowers, Jordan Brehm, Chelsey Foster, David Hatfield, Nichole Lyke, Tom Maurer, Jacquie McLean, Sarah Moyer-Cale, and Dave Tossava.

Call to Order

Also present: Community Development Director Dan King, Planning Consultant Rebecca Harvey, DPS Director Tate, and Police Chief Dale Boulter.

It was **MOVED** by Foster and **SECONDED** by Maurer to approve the agenda as presented. All members present voting yes; motion carried.

Approval of the Agenda

It was **MOVED** by Tossava and **SECONDED** by Maurer that the proposed minutes of the meeting of April 3, 2023 be approved. All members present voting yes; motion carried.

Approval of the Minutes

Chairperson Hatfield noted the ZBA meeting minutes from April 18, 2023 were included in the meeting packet.

Informative Items

The public hearing regarding the special land use application and site plan from the City of Hastings/Barry County Central Dispatch for construction of a 300 ft communications tower at 1037 E. State St. was discussed by the commission. King presented an overview of the application. Stephanie Lehman, Barry County Central Dispatch, spoke on behalf of the application. Lehman noted the need for the tower and why the site was selected. She also answered questions from the Commissioners. Chief Boulter spoke to the Commission regarding the practical need for a tower within the City of Hastings and the challenge faced by law enforcement due to failed radio transmissions.

Public Hearing:
911
Communications
Tower

Harvey provided an overview of the special land use and site plan review. It was noted that the side set back did not meet the requirement in the ordinance but that it could be waived by the Commission. It was also noted that other items for compliance were not provided in writing, but that the Commission could approve the SLU with those items to be approved administratively. Moyer-Cale stated that many of the items noted as performance conditions in the review would be finalized as a part of a future lease agreement between the City and Central Dispatch.

Chairperson Hatfield opened the hearing for public comment at 7:36 p.m. No public provided comments. Chairperson Hatfield closed the public comment period at 7:36 p.m.

It was **MOVED** by Tossava and **SECONDED** by Foster to approve the special land use and site plan application contingent upon administrative approval of the yet unsubmitted items noted as performance standards and with a waiver of the side setback requirement. All members present voting yes; motion carried.

New Business:
Set hearing for

It was **MOVED** by Brehm and **SECONDED** by Lyke to set a public hearing on June

5, 2023 to accept comment and consider a rezoning request for 1117 S. Michigan from R-s Suburban to R-2 One Family Residential District. All members present voting yes; motion carried. rezoning of 1117 S. Michigan

Harvey provided an overview of general information regarding conditional rezonings in Michigan. It was MOVED by Brehm and SECONDED by Lyke to set a public hearing on June 5, 2023 to accept comment and consider a conditional rezoning request from Green Development Ventures at 1107 N. Ferris St from R-1 One Family Residential to R-2 One Family Residential. All members present voting yes; motion carried. Set hearing for rezoning of 1107 N. Ferris St

King and Harvey presented the proposed ZBA variance criteria noting that the current criteria was out of date and did not represent the effects of several court cases on the subject. Discussion was held. It was MOVED by Maurer and SECONDED by Brehm to set a public hearing on the proposed text amendment on June 5, 2023. All members present voting yes; motion carried. Variance Criteria for ZBA

Moyer-Cale reported that the JPA had met in April and provided the draft meeting minutes to the Planning Commission. The JPC had not met in April. **Old Business:** JPA/JPC Update

King noted that the work task list had been adjusted for completed items. Work Task List

No changes. Tracking Terms and Conditions

Discussion was held regarding the revised draft text for tractor, trailer, and RV parking. It was MOVED by Foster and SECONDED by Tossava to hold a public hearing on the text amendment on June 5, 2023. All members present voting yes; motion carried. Trailer, Tractor, RV Parking Text

Harvey discussed a memo to the Planning Commission regarding 20 and 24 foot driveway widths and the impacts of the sizing on functionality. Tate answered questions regarding the impact of the width on the curb cut and approach size. Discussion was held. It was MOVED by Moyer-Cale and SECONDED by Brehm to defer action and add this issue to the Work Plan as a low priority item. All members present voting yes; motion carried. Driveway Widths

No public comment was received. Public Comment

None. Staff Comments

Maurer commented that the ZBA had a very robust discussion and good exchange of ideas regarding the proposed changes to the variance review criteria. Commission Comments

It was MOVED by McLean and SUPPORTED by Foster to adjourn the meeting. All members present voting yes, motion carried. Meeting adjourned at 8:34 p.m. Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: 4/6/2023

Applicant Name: Sykes (Last) JENNIFER E. RANDOL (First) (M.I.)
Address: 1117 S Michigan Ave (Street) HASTINGS MI 49058 (City, State, Zip)
Telephone: 269-331-6122 (Business) 408-335-7862 (Cellular)
Email: jenniec@porcelainclassics.com

Applicants Interest in Property: OWNERS

Owners Name (If Different From Above): _____

Request:

- Rezoning
- Site Plan Review
- Other: _____
- Special Use Permit
- PUD
- Plat or Condo
- PUD Phase Approval

Address of Property: SAME as above

Legal Description: BEG AT A PT 37 FT S OF SW CORNER OF LOT 1351 FOR POB, TH S 154 FT, TH E 49.5 FT TH S 22 FT, TH E 128 FT TO A PT 33 FT E OF THE CENTERLINE OF THE FORMER C,K & S RR R/W ,TH NE'LY 178.5 FT ALONG A LINE 33 FT E OF THE RAILROAD R/W CENTERLINE TH W 207.88 FT TO POB. CITY OF HASTINGS.

Current Zoning: R-5 Proposed Zoning: R-2

Applicable Fees: \$350.00

Applicants Signature: Jennifer L Sykes (Signature) owner (Title)

Staff Signature: _____ (Signature) CDD (Title)

Office Use Only

Application Number: _____	Date Advertised: _____
Filing Date: _____	Date of Meeting: _____
Fees Paid: <u>\$350.00</u>	Board Action: _____
To Clerks Office On: _____	Effective Date: _____

CITY OF HASTINGS
201 E STATE STREET
HASTINGS MI 49058-1954

Receipt No: 1.139404

Apr 6, 2023

Randel Sykes

CHARGES FOR SERVICES - APPLICATION FEE (IE BEIG) Application for Planning Comission Randel Sykes 101-100-648-000 Application Fees	350.00
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Total:	350.00
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CHECK	Check No: 2369	350.00
	Payor: Randel Sykes	

Total Applied:	350.00
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Change Tendered:	.00
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04/06/2023 11:00 AM

City of Hastings

NOTICE OF PUBLIC HEARING ON REZONING OF PROPERTY

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning the rezoning of 1117 S Michigan from R-S Suburban Residential to R-2 One-Family Residential. The public hearing will be held at 7:00 PM on Monday, June 5, 2023 in City Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.



A copy of the proposed changes and map are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 East State Street, Hastings, Michigan 49058. Questions or comments can be directed to Dan King, Community Development Director, at 269.945.2468 or dking@hastingsmi.org

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Christopher R. Bever
City Clerk

Please publish in the May 18, 2023 edition of the Hastings Banner.

Received by _____ on _____ as representative
of the Hastings Banner.



MCKENNA

June 5, 2023

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

Applicant: Jennifer and Randell Sykes

Subject Property: 1117 S Michigan Avenue
(Parcel #08-55-250-435-00)

Zoning: R-S Suburban Residential District

Request: *Rezoning* – the proposed rezoning of the subject property from the R-S District to the R-2 District

Zoning Map



- R-S Suburban Residential District
- R-2 One Family Residential District

Application Overview:

- The subject site is 0.63 acres (27,270 sq ft) in area and is provided approximately 130 ft of frontage on S Michigan Avenue.
- The subject site is bisected by Fall Creek. A single-family dwelling/attached garage is located on the west side of the property, adjacent to S Michigan Avenue; east of Fall Creek, the subject site is undeveloped.



- Applicant requests rezoning of the subject property from the R-S District to the R-2 District.

□ Rezoning Request Analysis

Section 90.5 – Amendments

- **Is the requested rezoning consistent with the policies and uses proposed for that area in the City of Hastings Master Plan?**
 - The City of Hastings Future Land Use Map classifies the subject property and surrounding area to the south as Modern Neighborhood; a classification characterized by ‘single-family residential housing units on larger lot sizes than found in older neighborhoods of the City.’ The Modern Neighborhood design guidelines suggest lot areas/widths consistent with surrounding character; streets that are curvilinear with cul-de-sacs; and a prevalence of attached garages.

The City of Hastings Zoning Plan set forth in the Master Plan identifies the R-1 or R-M District as appropriate to implement the vision of the Modern Neighborhood classification.
 - The area to the north and west of the subject property is classified as Core Neighborhood; a classification characterized by ‘single-family and multiple-family residential housing units in a more urban setting . . . and typically represents traditional neighborhood development.’

The City of Hastings Zoning Plan set forth in the Master Plan identifies the R-2 District as appropriate to implement the vision of the Core Neighborhood classification.
 - The subject property is situated near the boundary between the Core Neighborhood and Modern Neighborhood classifications, suggesting the requested R-2 zoning can be considered generally consistent with the City’s Master Plan.
- **Will a development or use allowed under the requested R-2 District significantly adversely impact public services and facilities?**



- The requested R-2 District allows single-family and two-family dwellings and certain non-residential uses . . similar to the uses allowed within the R-S District, with the exception of a two-family dwelling.
- The requested R-2 District allows for a greater density of residential development than the R-S District . . however, given the size of the subject property (.63 acres), unplatted/platted land division options are limited in both the R-S and R-2 Districts.
- Accordingly, the requested rezoning will not introduce a development/use scenario on the subject site that is significantly different than currently allowed or that is impactful to public services/facilities.

- **Will the requested R-2 District be compatible with the zoning/land use in the surrounding area?**

- The subject property is surrounded by R-S and R-2 zoning.

The R-S zoning adjacent to the south and east is generally occupied by large lot residential land use (1-2-acre lots); limited nonresidential use (church); and undeveloped parcels.

The R-2 zoning adjacent to the north and west generally consists of residential neighborhood grids made up of 0.25-0.5-acre lots.

- The requested R-2 District on the subject .63-acre lot will allow for development compatible with the surrounding R-S and R-2 zoning.

- **Will the uses allowed under the requested R-2 District be equally or better suited to the area than uses allowed under the current zoning of the land?**

	R-S District - Existing	R-2 District - Requested
Lot Width/Frontage	99 ft	SF – 66 ft 2F – 99 ft Nonres – 99 ft





Lot Area	15,000 sq ft	SF – 8000 sq ft 2F – 13,000 sq ft Nonres – 15,0000 sq ft
Density	2.9 dwelling units/acre	5.45 dwelling units/acre
Building Height	35 ft	35 ft
Lot Coverage	30%	30%
Front Setback	35 ft	25 ft
Side Setback	15 ft/40 ft	6 ft/15 ft
Rear Setback	25 ft	25 ft
Uses	SF dwellings 2F dwellings limited to highway frontage Limited nonresidential	SF & 2F dwellings Same limited nonresidential as R-S, except: - Private stables - OSPD - Golf courses
Utilities	Intended to be served by public water/sanitary sewer	Intended to be served by public water/sanitary sewer
Purpose	SF housing and certain nonresidential facilities providing convenient services while maintaining residential character	SF & 2F housing and certain nonresidential facilities compatible with surrounding uses

- The R-S and R-2 Districts allow most of the same land uses. The only land use that is allowed in the R-2 District and not in the R-S District is a two-family dwelling.
- A significantly greater residential density is allowed within the R-2 District than the R-S District. However, the size/frontage of the subject property greatly limits unplatted/platted land division options in both districts.
- The remainder of the district regulations are the same for both the R-S and R-2 Districts.
- The requested R-2 District will serve primarily to introduce a two-family dwelling use option on the property; other use options and land division opportunities will remain unchanged.



Green Development Ventures, LLC
2186 East Centre Avenue
Portage, MI 49002

April 26, 2023

Mr. Dan King, Director
Planning and Zoning Department
City of Hastings
201 E. State Street
Hastings, Michigan 49058

Re: Conditional Rezoning Application – South Approximate 8.6 Acres of 1107 N. Ferris Avenue
(Parcel #08-55-055-079-02)

Dear Mr. King,

Attached please find a Conditional Rezoning Application for the South approximate 8.6 acres of 1107 N. Ferris Avenue (Parcel #08-55-055-079-02). The application packet includes the following documents:

- Rezoning Application Review Fee Check (\$350)
- Application for Planning Commission – Rezoning (signed by Applicant)
- Letter of Authorization from Current Owners (Paul and Kelli Teunessen)
- Conditional R-2 Rezoning Proposal/Narrative with Voluntarily Offered Conditions
- Legal Description of Proposed Rezoning Area and Site Layout Plan

We look forward to discussing this proposal with the City and request a public hearing be scheduled for the June 5, 2023 Planning Commission meeting to formally consider this Conditional Rezoning Application.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: April 26, 2023

Applicant Name: Green Development Ventures, LLC (Mike West)
(Street) (City, State, Zip) (Last) (First) (M.I.)

Address: 2186 East Centre Avenue Portage, Michigan 49002
(Street) (City, State, Zip)

Telephone: (269) 365-8548
(Business) (Cellular)

Email: mwest@allenedwin.com

Applicants Interest in Property: Contingent Purchaser (Letter of Authorization attached)

Owners Name (If Different From Above): Paul and Kelli Teunessen

Request:

- Rezoning (conditional) [checked]
Site Plan Review []
Other: []
Special Use Permit []
PUD []
Plat or Condo []
PUD Phase Approval []

Address of Property: 1107 N. Ferris Avenue (Parcel #08-55-055-079-02)
* South Approximate 8.6 acres

Legal Description: See attached legal description and Site Layout Plan

Current Zoning: R-1, One Family Proposed Zoning: R-2, One Family (conditional)

Applicable Fees: \$350.00

Applicants Signature: [Signature] Land Planning Project Manager
(Title)

Staff Signature: _____ (Title)

Office Use Only

Application Number: _____ Date Advertised: _____
Filing Date: _____ Date of Meeting: _____
Fees Paid: _____ Board Action: _____
To Clerks Office On: _____ Effective Date: _____

March 30, 2023

Dan King, Community Development Director
Community Development Department
City of Hastings
201 E. State Street
Hastings, Michigan 49058

Re: 1107 Ferris Street (Parcel #08-55-055-079-02, 10.2 Acres)

Dear Mr. King,

We own the 10.2 acre parcel located at 1107 Ferris Street (Parcel #08-55-055-079-02) in the City of Hastings, Barry County, Michigan. We confirm that Green Development Ventures, LLC/Allen Edwin Homes has authorized consent to submit for municipal approvals and permits (site condominium subdivision, utility permits, etc.) that may be required for the development of the subject parcel.

Feel free to contact us with questions or concerns.

Sincerely,



Kelli Teunessen (Mar 31, 2023 13:15 EDT)

Paul and Kelli Teunessen
1270 Norway Avenue
Hastings, MI 49058
Phone:
kteunessen@yahoo.com

Proposed Conditional R-2 Rezoning Request
(Green Development Ventures, LLC)
4-26-23

1107 N. Ferris Avenue
South Approximate 8.6 Acres of Parcel 08-55-055-079-02
City of Hastings, Michigan

Green Development Ventures, LLC is requesting a Conditional Rezoning of the South approximate 8.6 acres of 1107 N. Ferris Avenue (Parcel 08-55-055-079-02). A legal description and Site Layout Plan which describes this proposed rezoning area is attached with this application. The subject property is currently vacant and zoned R-1, One Family Residential. A Conditional Rezoning from R-1, One Family Residential to R-2, One Family Residential is requested for a specific single family detached and two family attached residential development project, to be called Brittney Estates North, which is voluntarily offered as conditions of the application. The specific conditions of this development project are described below and illustrated on the attached Site Layout Plan.

Proposed Development/Voluntarily Offered Conditions of Rezoning: The Conditional R-2 Rezoning request proposes to construct the Brittney Estates North site condominium subdivision as depicted on the attached Site Layout Plan with the following voluntarily offered conditions ions:

- 1) The land shall be developed as a site condominium subdivision with extensions of N. Ferris Avenue and Williams Street.
- 2) The site condominium subdivision will include a total of 18 units with 5 units dedicated to single family detached homes and 13 units dedicated to two family dwellings (duplexes).
- 3) All units will meet the minimum lot area and width standards for the R-1, One Family Residential zoning district which are 9,990 square feet and 75 feet of lot width (single family dwellings) and 13,000 square feet and 99 feet of lot width (two family dwellings/duplexes).
- 4) All units will meet the minimum building setback standards for the R-1, One Family Residential zoning district.
- 5) All dwellings constructed shall be connected to the public sanitary sewer and public water supply system.
- 6) Sidewalks shall be installed along both sides of the streets.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com

Legal Description of Proposed Rezoning Area
(South Approximate 8.6 Acres of 1107 N. Ferris Avenue)

Part of the Southeast 1/4 of Section 8, T3N, R8W, City of Hastings, Barry County, Michigan, Described as: Commencing at the East 1/4 Corner; thence N89°34'04"W 1517.47 feet along the East-West 1/4 line of said Section; thence S00°19'54"W 475.83 feet to the Point of Beginning; thence S00°19'54"W 332.59 feet, thence N89°39'49"W 147.05 to the Northeast Corner of Lot 17, Brittney Estates Plat; thence N89°39'49"W 975.70 feet along the North line of said Brittney Estates Plat to a point on the North-South 1/4 line of said Section, also being the East line of Aben Johnsons Addition No 2; thence N00°19'57"E 334.47 feet along said 1/4 line to the Northeast Corner of Lot 72 of Aben Johnsons Addition No 2; thence S89°34'04"E 1122.75 feet to the Point of Beginning.

City of Hastings

NOTICE OF PUBLIC HEARING ON CONDITIONAL REZONING OF PROPERTY

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning a conditional rezoning request from Green Development Ventures, LLC for property located at 1107 N. Ferris Street. The Planning Commission will consider the proposed conditional rezoning of said property from R-1 One Family Residential to R-2 One Family Residential. The public hearing will be held at **7:00 PM on Monday, June 5, 2023** in City Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.



A copy of the proposed changes and map are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 East State Street, Hastings, Michigan 49058. Questions or comments can be directed to Dan King, Community Development Director, at 269.945.2468 or dking@hastingsmi.org

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Christopher R. Bever
City Clerk

Please publish in the May 18, 2023 edition of the Hastings Banner.

Received by _____ on _____ as representative of the Hastings Banner.

Received by _____ on _____ as representative of the Hastings Banner.



MCKENNA

June 5, 2023

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

Applicant: Green Development Ventures, LLC
(Mike West)

Subject Property: South 8.6 acres of 1107 N. Ferris Street
(Parcel # 08-55-055-079-02)

Zoning: R-1 One Family Residential District

Request: *Conditional Rezoning* – the proposed rezoning of the subject property from the R-1 District to the R-2 District, with an offer of use/design conditions

Zoning Map



-  R-1 One Family Residential District
-  R-2 One Family Residential District

[Application Overview:](#)

- The subject site is 10.2 acres in total area and is provided 150 ft of frontage on E. Woodlawn Avenue and 66 ft of frontage on N. Ferris Street.
- The subject site is currently undeveloped.
- Applicant proposes the development of a single-family and two-family residential site condominium subdivision with 18 building sites . . . on the south 8.6 acres of the subject site.

- Applicant desires to accomplish the development proposal within the R-2 District, which allows two-family dwellings without locational restriction, while committing to the lot size/width and setback standards of the R-1 District in project design.
- Applicant requests Conditional Rezoning of the south 8.6 acres of the subject site from the R-1 District to the R-2 District, conditioned upon development of the property as set forth in the April 26, 2023 Application Letter and Site Layout Plan.



□ Conditional Rezoning

- **Intent** - Consistent with the intent of the ‘conditional rezoning’ approach, the applicant has voluntarily proposed conditions regarding the development of the subject property as part of the request for rezoning.
- **Offer of Conditions**
 - The applicant voluntarily offered in writing (4.26.23 Application Letter/Site Layout Plan) conditions related to the rezoning request at the time of application.
 - The application and public hearing process for a rezoning request without conditions has been applied.
 - The ‘offer of conditions’ does not ‘purport to authorize uses’ not allowed in the requested R-2 District. (Reference Section 90-312 – ‘single-family detached dwellings’ and ‘two-family dwellings’)
 - The ‘offer of conditions’ are well suited to the subject property given the size/situation of the site, the area road network, and the adjacent/surrounding zoning and land use.



- The proposed residential site condominium subdivision will require Preliminary Plan Review by the Planning Commission pursuant to Section 90-735.
- The proposed residential site condominium subdivision will require Final Review/Approval by City Council pursuant to Section 90-736.
- **Planning Commission Review** – The Planning Commission shall apply the criteria applicable to a request for rezoning and make a recommendation for approval, approval with conditions, or denial to the City Council.

The ‘written offer of conditions’ set forth in the 4.26.23 Application Letter and Site Layout Plan will serve as both the basis of a recommendation, and if recommended for approval, the conditions of that approval.

- **City Council Review** – In consideration of the Planning Commission’s recommendation on the proposed conditional rezoning, if the City Council considers amendments to the proposed conditional rezoning advisable, the amendments must be referred to the Planning Commission for consideration. If the City Council accepts the recommendation of the Planning Commission, a recording of the formal written statement of conditions and an amendment of the zoning map shall occur pursuant to

Proposal/Site Layout Plan – Consistency w/ R-1 & R-2 Districts

	R-1 District	R-2 District	Proposed
Lot Width/Frontage	SF – 75 ft 2F – 99 ft	SF – 66 ft 2F – 99 ft	<i>75 ft/99 ft proposed as condition</i>
Lot Area	SF – 9900 sq ft 2F – 13,000 sq ft	SF – 8000 sq ft 2F – 13,000 sq ft	<i>9900 sq ft/13000 sq ft proposed as condition</i>
Building Height	35 ft	35 ft	
Lot Coverage	30%	30%	
Front Setback	30 ft	25 ft	<i>30 ft proposed as condition</i>
Side Setback	7 ft/18 ft	6 ft/15 ft	<i>7 ft/18 ft proposed as condition</i>
Rear Setback	25 ft	25 ft	<i>proposed as condition</i>



Section 90-735 – Preliminary Plans

- **Utilities:** the site condominium subdivision is proposed to be served by public water and public sanitary sewer . . . *as a condition of approval.*
- **Streets:** the site condominium subdivision is proposed to be served by extensions of abutting public streets (N. Ferris Street and Williams Street) with sidewalks along both sides of the streets . . . *as a condition of approval.*
- **Common Elements:** the site condominium subdivision includes minimal common elements given the proposal for public streets, public utilities and no common open space.
- **Stormwater Management:** a stormwater management plan will be required through the site condominium approval process.
- **Building Sites:**
 - 18 building sites (5 SF / 13 2F - 31 dwelling units) are proposed . . . *as a condition of approval.*

[Existing R-1 zoning would allow the establishment of 34 single family lots/dwelling units: 8.6 acres – 10% (roads; utilities)/9900 sq ft min lot size = 34 lots]
 - Compliance with R-1 District lot area and lot width/frontage requirements is proposed . . . *as a condition of approval.*
 - Compliance with R-1 District front, side, and rear setback requirements is proposed . . . *as a condition of approval.*
- **Surrounding Zoning/Land Use:**
 - The proposed site condominium subdivision is consistent in lot size, lot orientation, and street grid/sidewalk layout to the residential development adjacent to the south and west.



- The proposed site condominium subdivision layout does not facilitate future expansion north or east.

□ Summary of Findings

Based on the applicant's voluntary written offer of conditions (4.26.23 Application Letter/Site Layout Plan):

1. The City of Hastings Future Land Use Map classifies the subject property as Core Neighborhood; a classification characterized by 'single-family and multiple-family residential housing units in a more urban setting . . . and typically represents traditional neighborhood development.' The Core Neighborhood design guidelines suggest lot areas/widths consistent with surrounding character; streets that follow a traditional grid pattern; and sidewalks. The requested conditional rezoning is consistent with the City's Master Plan.
2. The City of Hastings Zoning Plan set forth in the Master Plan identifies the R-2 District as appropriate to implement the vision of the Core Neighborhood classification.
3. The subject property is largely surrounded by R-1 zoning; the requested conditional rezoning proposes use of the property consistent with the density and design standards of the R-1 District, suggesting compatibility with area zoning/land use.
4. The requested conditional rezoning offers to limit use of the subject property to a residential site condominium subdivision for single- and two-family dwellings, to be designed in compliance with the standards of the R-1 District and at a density more restrictive than the R-1 District; the requested conditional rezoning will serve to protect the character of the property to an extent greater than exists as currently zoned.
5. The requested conditional rezoning offers a development scenario that cannot entirely be required in the existing R-1 District.



City of Hastings

NOTICE OF PUBLIC HEARING ON ORDINANCE NO. TBD

The Planning Commission will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning amending Chapter 90, Article 90 – III, Section 90-87 Variances Prohibited of the Hastings Municipal Code of 1970. The public hearing will be held on Monday June 5, 2023 at 7:00 PM in the Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.

All interested citizens are encouraged to attend and to submit comments.

Please contact Dan King, Community Development Director, at dking@hastingsmi.org or 269-945-2468 if you have questions or comments regarding this public hearing.

A copy of this information is available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the City Clerk, 201 East State Street, Hastings, Michigan 49058.

The City will provide necessary reasonable aids and services upon five days notice to Hastings City Clerk (telephone number 269-945-2468) or TDD call relay services 1-800-649-3777.

Christopher R. Bever
City Clerk

Please publish in the May 18, 2023 edition of the Hastings
Banner.

Received by _____ on _____
as representative of the Hastings Banner.



May 1, 2023

Subject: Text Amendment – Board of Appeals (Variances)

- **Amend Sec 90-87 to better align the variance criteria with established case law and improve clarity and consistency of application.**
- **Amend Sec 90-87 to recognize that conditions may be attached to a variance and provide explanation and parameters for any such conditions.**

Existing Text

Sec 90-87 Variances Prohibited

No variance in the provisions or requirements of this chapter shall be authorized unless the board finds from reasonable evidence that such variance will not be of substantial detriment to adjacent property and the surrounding neighborhood; will not impair the public health, safety, welfare or the intent and purpose of this chapter; and that at least two of the following conditions exist:

- a) That there are exceptional or extraordinary circumstances or conditions applying to the property in question or to the intended use of the property that do not apply generally to other properties in the same zoning classification.
- b) That such variance is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity, provided that the possibility of increased return shall not be deemed sufficient to warrant a variance.
- c) That the condition or situation of the specific piece of property or the intended use of the property for which the variance is sought is not of so general or recurrent a nature as to make reasonably practical the formulation of a general regulation for such conditions or situation as part of this chapter.

Proposed Text

Sec 90-87 Variance Standards and Conditions

The Zoning Board of Appeals shall have the authority to grant nonuse variances related to dimensional requirements of the Zoning Ordinance or to any other nonuse-related standard in the Ordinance where there are practical difficulties in the way of carrying out the strict letter of this Ordinance so that the spirit of the Ordinance shall be observed, public health and safety secured, and substantial justice done.

(a) Standards: In determining whether practical difficulties exist, the Zoning Board of Appeals shall consider the following factors:

- 1) That the variance will not permit the establishment within a zoning district of any use which is not allowed as a permitted or special land use within the district.
- 2) That compliance with the strict letter of the Zoning Ordinance would unreasonably prevent the owner or occupant of the property from using the property for a permitted purpose, or would render conformity with the Zoning Ordinance unnecessarily burdensome.
- 3) That a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the surrounding area or, in the alternative, that a lesser relaxation than that applied for would give substantial relief to the owner or occupant of the property involved and be more consistent with justice to other property owners.
- 4) That the hardship asserted by the applicant by way of justification for a variance is due to unique circumstances of the property.
- 5) That the hardship asserted by way of justification for the variance is not self-created.
- 6) That, in granting a variance, the Zoning Board of Appeals is ensuring that the spirit of the Zoning Ordinance is observed, public safety secured, and substantial justice done.

(b) Conditions: The Zoning Board of Appeals may attach conditions or limitations upon a variance, where such are necessary to insure that public services and facilities affected by a requested variance and the associated land use or activity will be capable of accommodating increased service and facility loads caused by the variance and associated land use or activity, and to protect the natural environment and conserve natural resources and energy, and to insure compatibility





with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Prior to attaching a condition or limitation to a variance, the Zoning Board of Appeals shall also specifically determine the following:

- (1) That the condition or limitation is designed to protect natural resources, the health, safety and welfare and the social and economic well-being of those who will use the land use or activity associated with the variance under consideration, residents and land owners immediately adjacent to the land use or activity, and the community as a whole; and,
- (2) That the condition or limitation is related to the valid exercise of the police power, and purposes which are affected by the proposed variance; and,
- (3) That the condition or limitation is necessary to meet the intent and purpose of the zoning ordinance, is related to the standards established in the ordinance for the variance under consideration and associated land use or activity, and is necessary to ensure compliance with those standards.

Any such conditions and limitations may impose greater or more restrictions and requirements than are included in this Ordinance generally, and may include the provision of reasonable financial security to guarantee performance. Violation of any such conditions or limitations shall be deemed a violation of this Ordinance.



City of Hastings
COUNTY OF BARRY, STATE OF MICHIGAN

ORDINANCE NO. TBD

AN ORDINANCE TO AMEND CHAPTER 90 OF THE HASTINGS CODE OF 1970, AS AMENDED, BY AMENDING THE FOLLOWING: ARTICLE 90 - III, SECTION 90-87 VARIANCES PROHIBITED.

THE CITY OF HASTINGS ORDAINS:

SECTION I.

Section 90-87 is hereby amended to Chapter 90, Article 90 – III Variances Prohibited: Current in Italics--Text additions in **BOLD**

Sec 90-87 Variances Prohibited

~~*No variance in the provisions or requirements of this chapter shall be authorized unless the board finds from reasonable evidence that such variance will not be of substantial detriment to adjacent property and the surrounding neighborhood; will not impair the public health, safety, welfare or the intent and purpose of this chapter; and that at least two of the following conditions exist:*~~

- ~~*a) That there are exceptional or extraordinary circumstances or conditions applying to the property in question or to the intended use of the property that do not apply generally to other properties in the same zoning classification.*~~

- ~~*b) That such variance is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity, provided that the possibility of increased return shall not be deemed sufficient to warrant a variance.*~~

- ~~*c) That the condition or situation of the specific piece of property or the intended use of the property for which the variance is sought is not of so general or recurrent a nature as to make reasonably practical the formulation of a general regulation for such conditions or situation as part of this chapter.*~~

Sec 90-87 Variance Standards and Conditions

The Zoning Board of Appeals shall have the authority to grant nonuse variances related to dimensional requirements of the Zoning Ordinance or to any other nonuse-related standard in the Ordinance where there are practical difficulties in the way of carrying out the strict letter of this Ordinance so that the spirit of the Ordinance shall be observed, public health and safety secured, and substantial justice done.

(a) Standards: In determining whether practical difficulties exist, the Zoning Board of Appeals shall consider the following factors:

- 1) That the variance will not permit the establishment within a zoning district of any use which is not allowed as a permitted or special land use within the district.**
- 2) That compliance with the strict letter of the Zoning Ordinance would unreasonably prevent the owner or occupant of the property from using the property for a permitted purpose or would render conformity with the Zoning Ordinance unnecessarily burdensome.**
- 3) That a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the surrounding area or, in the alternative, that a lesser relaxation than that applied for would give substantial relief to the owner or occupant of the property involved and be more consistent with justice to other property owners.**
- 4) That the hardship asserted by the applicant by way of justification for a variance is due to unique circumstances of the property.**
- 5) That the hardship asserted by way of justification for the variance is not self-created.**
- 6) That, in granting a variance, the Zoning Board of Appeals is ensuring that the spirit of the Zoning Ordinance is observed, public safety secured, and substantial justice done.**

(b) Conditions: The Zoning Board of Appeals may attach conditions or limitations upon a variance, where such are necessary to insure that public services and facilities affected by a requested variance and the associated land use or activity will be capable of accommodating increased service and facility loads caused by the variance and associated land use or activity, and to protect the natural environment and conserve natural resources and energy, and to insure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Prior to attaching a condition or limitation to a variance, the Zoning Board of Appeals shall also specifically determine the following:

- (1) That the condition or limitation is designed to protect natural resources, the health, safety and welfare and the social and economic well-being of those who will use the land use or activity associated with the variance under consideration, residents, and land owners immediately adjacent to the land use or activity, and the community as a whole; and,**
- (2) That the condition or limitation is related to the valid exercise of the police power, and purposes which are affected by the proposed variance; and,**
- (3) That the condition or limitation is necessary to meet the intent and purpose of the zoning ordinance, is related to the standards established in the ordinance for the variance under consideration and associated land use or activity and is necessary to ensure compliance with those standards.**

Any such conditions and limitations may impose greater or more restrictions and requirements than are included in this Ordinance generally and may include the provision of reasonable financial security to guarantee performance. Violation of any such conditions or limitations shall be deemed a violation of this Ordinance.

SECTION II.

If any article, section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION III.

This ordinance shall become effective upon its adoption and publication as provided by City Charter.

Moved by , with support by , that Ordinance No. TBD be adopted as read.

YEAS:
NAYS:
ABSENT:

CITY OF HASTINGS

Adoption Date:
Effective Date:
First Reading:
Second Reading:

By: Christopher R. Bever
Hastings City Clerk

CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the City of Hastings, Michigan, does hereby certify that the foregoing is a true and complete copy of an Ordinance adopted by the City Council of the City of Hastings, at a regular meeting of the City Council on the day of 2023, at which meeting a quorum was present and remained throughout, and that the original of said Ordinance is on file in the records of the City of Hastings. I further certify that the meeting was conducted, and public notice was given pursuant to and in compliance with Act No. 267, Public Acts of Michigan of 1976, as amended, and that minutes were kept and will be or have been made available as required thereby.

Dated:

Christopher R. Bever
City Clerk

City of Hastings

NOTICE OF PUBLIC HEARING ON ORDINANCE NO. TBD

The Planning Commission will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning amending Chapter 90, Article 90 – I, Section 90-1 Definitions to add the definition of a large single rear axle truck, and amending Chapter 90, Article 90-VI, Division 90 VI-14 -D1 Industrial District, Section 90-553 to add subsection (g), and amend Chapter 90, Article 90-X Off-Street Parking, Section 90-929 of the Hastings Municipal Code of 1970. The public hearing will be held on Monday June 5, 2023 at 7:00 PM in the Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.

All interested citizens are encouraged to attend and to submit comments.

Please contact Dan King, Community Development Director, at dking@hastingsmi.org or 269-945-2468 if you have questions or comments regarding this public hearing.

A copy of this information is available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the City Clerk, 201 East State Street, Hastings, Michigan 49058.

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Christopher R. Bever
City Clerk

Please publish in the May 18, 2023 edition of the Hastings
Banner.

Received by _____ on _____
as representative of the Hastings Banner.



May 1, 2023

Subject: Text Amendment – Tractor, Trailer & RV Parking

• **Findings:**

- There is currently no zoning district in the City that allows for the ‘outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with 2 or more rear axles’ as a principal use.
- Single rear axle trucks can include large trucks such as dump trucks, box trucks, utility trucks and tow trucks . . . and are currently allowed to park in residential driveways.
- RVs of significant size (36 ft in length) . . . are currently allowed to park on residential properties in unlimited quantity and for an unlimited duration.

• **Conclusions:**

- Allow for principal use parking lots to be established so as to provide an alternative to on-site parking for residents and address current parking practices of concern; assess whether the parking alternative results in a decrease in on-site parking.
- Amend the Zoning Ordinance to establish a ‘parking lot for the overnight parking of semi-tractors, semi-trailers, vehicles with 2 or more rear axles, large single rear axle trucks, and recreational vehicles on a short-term basis’ as a special land use within the D-1 and D-2 Industrial Districts, with related parking lot design standards.

• **Proposed Amendments:**

Sec 90-1 – Definitions

Add: *Large single rear axle truck* means a type of large truck that has a single frame and uses only one drive axle in the rear and can include, but is not limited to, a straight (box) truck, tow truck, dump truck, and utility/service truck.

Sec 90-553 – Special Uses (D-1 District)

Add: (g) Parking lots for the overnight parking of semi-tractors, semi-trailers, vehicles with 2 or more rear axles, large single rear axle trucks, and recreational vehicles on a short-term basis, subject to compliance with the parking lot requirements established by Sec 90-920.

[Sec 90-920 – Parking Lot Requirements]

- a) Off-street parking areas shall be effectively screened on any side that adjoins or faces premises situated in any residential district or institutional premises, by a screening of evergreen hedge or other natural landscaping. If owners of adjacent residential properties request in writing, this screening shall be done by a solid uniformly painted fence or wall not less than four or more than six feet in height maintained in good condition.
- b) All off-street parking areas shall have an asphalt or concrete surface, which shall be graded and drained to dispose of all surface water and prevent drainage onto abutting properties. All drainage plans shall be approved by the director of public services.
- c) Any lighting fixtures used to illuminate off-street parking areas shall be arranged to reflect the light away from adjoining residential properties, institutional premises or roadways.
- d) Any access drive serving a parking lot shall be at least 55 feet from the intersection of two streets. This distance shall be measured from the right-of-way line of that street parallel with the driveway to the closest edge of the driveway.
- e) The planning commission may, in its discretion, vary this requirement after consideration of the following criteria:
 - 1) Volume of traffic on adjacent streets.
 - 2) Type of traffic control measure at nearby intersection (i.e., traffic signal or signs).
 - 3) Size of parking area.
 - 4) Whether or not on-street parking of vehicles is permitted on adjacent streets.
 - 5) Safe sight distance from intersection.
- f) The off-street parking area, driveways, signs, lighting and landscaping shall be subject to the approval of the planning commission to ensure its adequacy in relation to the traffic safety, protection of adjacent property, and its compliance with the provisions of this article.



Sec 90-929 – Supplemental Parking Requirements in Residential Zones

- a) All driveways and parking areas **in residential districts**, including areas used to access parking spaces, shall be constructed of stable materials designed and maintained to support parked vehicles, including, but not limited to, bituminous material, brick pavers, gravel, concrete, or crushed stone. Parking on bare dirt, mud, grass, debris, refuse and other unstable material in any yard is prohibited. All driveways and parking areas shall be maintained in good condition and any rutting or deformation of the drive or parking surface shall be promptly repaired.
- b) Parking spaces and driveways on ~~residential~~ properties **used for residential purposes** shall not occupy in excess of 40 percent of the width of the front yard at any point within such front yard as measured from property line to property line. In the event that drive areas used exclusively to turn vehicles around are present, such turn-around drives shall not occupy in excess of 60 percent of the width of the front yard.
- c) Parking in the following areas shall be prohibited:
 - 1) between the curb and the sidewalk
 - 2) between the curb and the right-of-way line
 - 3) on any curb lawn of any public street
 - 4) on driveway approaches within the public right-of-way
- ~~d) The outdoor parking or storage of semi tractors, semi trailers, or vehicles with two or more rear axles in residential areas is prohibited.~~
- e) The outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with two or more rear axles on any streets, alleys, or public ways within the City is prohibited, except when actively loading or unloading.
- f) The outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with two or more rear axles in any other area is prohibited except:
 - 1) Where such parking is necessary in connection with construction activity actually occurring on the property pursuant to a valid and current building permit.



- 
- 2) For a period of up to 3 hours, or longer as permitted by the Chief of Police, for the purpose of loading or unloading materials, supplies, or inventory to be used in connection with the ~~business~~ activity occurring on the property. Such vehicles and attachments may not be parked for the purpose of storing such materials, supplies, or inventory.
 - 3) Where such vehicles are being offered for sale by a licensed dealership.
 - 4) Where such vehicles are customarily used in connection with the business where the vehicles are parked.
 - 5) **In approved parking lots for overnight parking on a short-term basis.**
- g) The outdoor parking or storage of any unattached trailers or other recreational vehicles or equipment as defined in Section 90-1, on any streets, alleys, or public ways within the City is prohibited. No vehicle with a trailer, recreational vehicle, or similar appurtenance shall be parked on any streets, alleys, or public ways within the City for a period of more than 12 hours.



City of Hastings
COUNTY OF BARRY, STATE OF MICHIGAN

ORDINANCE NO. TBD

AN ORDINANCE TO AMEND CHAPTER 90 OF THE HASTINGS CODE OF 1970, AS AMENDED, BY AMENDING THE FOLLOWING: ARTICLE 90 - I, SECTION 90-1 DEFINITIONS TO ADD DEFINITION OF A LARGE SINGLE REAR AXLE TRUCK, ARTICLE 90-VI, DIVISION 90 VI-14 D-1 INDUSTRIAL DISTRICT, SECTION 90-553 TO ADD SUBSECTION (G), AND ARTICLE 90-X OFF STREET PARKING, SECTION 90-929.

THE CITY OF HASTINGS ORDAINS:

SECTION I.

Section 90-1 is hereby amended to Chapter 90, Article 90 – I Definitions to add definition of a large single rear axle truck, Section 90-553 is hereby amended to Chapter 90, Article 90-VI, Division 90 VI-14 – D1 Industrial District to add subsection (g), and Section 90-929 is hereby amended to Chapter 90, Article 90-X Off Street Parking. Current in *Italics*. Text additions in **BOLD**

Sec 90-1 Definitions

Large single rear axle truck means a type of large truck that has a single frame and uses only one drive axle in the rear and can include, but is not limited to, a straight (box) truck, tow truck, dump truck, and utility/service truck.

Sec 90-553 Special Uses

(g) Parking lots for the overnight parking of semi-tractors, semi-trailers, vehicles with 2 or more rear axles, large single rear axle trucks, and recreational vehicles on a short-term basis, subject to compliance with the parking lot requirements established by Section 90-920.

Sec 90-929 – Supplemental Parking Requirements in Residential Zones

- (a) *All driveways and parking areas in residential districts, including areas used to access parking spaces, shall be constructed of stable materials designed and maintained to support parked vehicles, including, but not limited to, bituminous material, brick pavers, gravel, concrete, or crushed stone. Parking on bare dirt, mud, grass, debris, refuse and other unstable material in any yard is prohibited. All driveways and parking areas shall be maintained in good condition and any rutting or deformation of the drive or parking surface shall be promptly repaired.*
- (b) *Parking spaces and driveways on ~~residential~~ properties **used for residential purposes** shall not occupy in excess of 40 percent of the width of the front yard at any point within such front yard as measured from property line to property line. In the event that drive areas used exclusively to turn vehicles around are present, such turn-around drives shall not occupy in excess of 60 percent of the width of the front yard.*
- (c) *Parking in the following areas shall be prohibited:*
- (1) *between the curb and the sidewalk*
 - (2) *between the curb and the right-of-way line*
 - (3) *on any curb lawn of any public street*
 - (4) *on driveway approaches within the public right-of-way*
- (d) *~~The outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with two or more rear axles in residential areas is prohibited.~~*
- (e) *The outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with two or more rear axles on any streets, alleys, or public ways within the City is prohibited, except when actively loading or unloading.*
- (f) *The outdoor parking or storage of semi-tractors, semi-trailers, or vehicles with two or more rear axles in any other area is prohibited except:*
- (1) *Where such parking is necessary in connection with construction activity actually occurring on the property pursuant to a valid and current building permit.*
 - (2) *For a period of up to 3 hours, or longer as permitted by the Chief of Police, for the purpose of loading or unloading materials, supplies, or inventory to be used in connection with the ~~business~~ activity occurring on the property. Such vehicles and attachments may not be parked for the purpose of storing such materials, supplies, or inventory.*

(3) *Where such vehicles are being offered for sale by a licensed dealership.*

(4) *Where such vehicles are customarily used in connection with the business where the vehicles are parked.*

(5) **In approved parking lots for overnight parking on a short-term basis.**

(g) *The outdoor parking or storage of any unattached trailers or other recreational vehicles or equipment as defined in Section 90-1, on any streets, alleys, or public ways within the City is prohibited. No vehicle with a trailer, recreational vehicle, or similar appurtenance shall be parked on any streets, alleys, or public ways within the City for a period of more than 12 hours.*

SECTION II.

If any article, section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION III.

This ordinance shall become effective upon its adoption and publication as provided by City Charter.

Moved by , with support by , that Ordinance No. TBD be adopted as read.

YEAS:

NAYS:

ABSENT:

Adoption Date:

Effective Date:

First Reading:

Second Reading:

CITY OF HASTINGS

By: Christopher R. Bever
Hastings City Clerk

CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the City of Hastings, Michigan, does hereby certify that the foregoing is a true and complete copy of an Ordinance adopted by the City Council of the City of Hastings, at a regular meeting of the City Council on the day of 2023, at which meeting a quorum was present and remained throughout, and that the original of said Ordinance is on file in the records of the City of Hastings. I further certify that the meeting was conducted, and public notice was given pursuant to and in compliance with Act No. 267, Public Acts of Michigan of 1976, as amended, and that minutes were kept and will be or have been made available as required thereby.

Dated:

Christopher R. Bever
City Clerk



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: May 30, 2023

Applicant Name: Taylor (Last) Greg (First) _____ (M.I.)

Address: 601 Fifth Street, Suite 300 (Street) Grand Rapids, MI 49504 (City, State, Zip)

Telephone: (616) 920-1655 (Business) (616) 840-5516 (Cellular)

Email: gregt@copperrockconstruction.com

Applicants Interest in Property: Agent for purchaser/developer of the Property

Owners Name (If Different From Above): CopperRock Construction, for an entity to be formed

Request:

- Rezoning
- Site Plan Review
- Other: _____
- Special Use Permit
- PUD
- Plat or Condo
- PUD Phase Approval

Address of Property: 328 & 420 E. Mill Street, Hastings, MI 49058

Legal Description: (See attached survey)

Current Zoning: 328 - D1; and 420 - PUD Proposed Zoning: PUD

Applicable Fees: \$380 application + \$1,250 Escrow = \$1,630

Applicants Signature: _____ Senior Construction Specialist (Title)

Staff Signature: _____ CDD / ZA (Title)

Office Use Only

Application Number: _____ Date Advertised: _____

Filing Date: 5.31.23 Date of Meeting: 6.5.23

Fees Paid: ✓ \$1,630.00 Board Action: _____

To Clerks Office On: _____ Effective Date: _____

CITY OF HASTINGS
201 E STATE STREET
HASTINGS MI 49058-1954

Receipt No: 1.140408

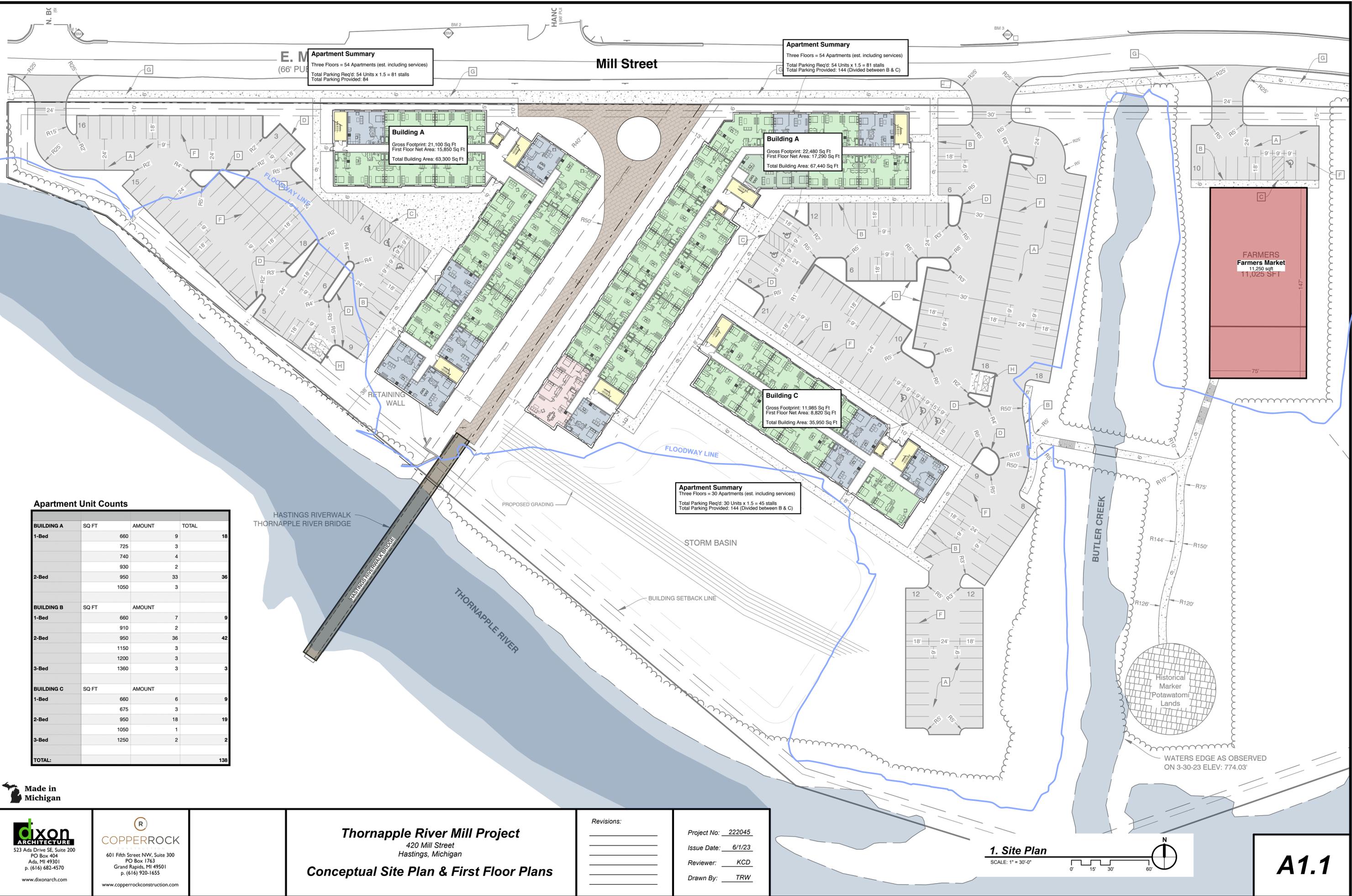
May 31, 2023

Copperrock Construction INC

CHARGES FOR SERVICES - APPLICATION FEE	380.00
Copperrock Construction Inc	
101-100-648-000 Application Fees	
CHARGES FOR SERVICES - Escrow Deposit	1,250.00
101-000-283-320 Perf Dep - Copperrock	
<hr/>	
Total:	1,630.00
<hr/>	
CHECK	1,630.00
Check No: 51647	
Payor: Copperrock Construction INC	
Total Applied:	1,630.00
<hr/>	
Change Tendered:	.00
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05/31/2023 4:09 PM



Apartment Summary
 Three Floors = 54 Apartments (est. including services)
 Total Parking Req'd: 54 Units x 1.5 = 81 stalls
 Total Parking Provided: 84

Apartment Summary
 Three Floors = 54 Apartments (est. including services)
 Total Parking Req'd: 54 Units x 1.5 = 81 stalls
 Total Parking Provided: 144 (Divided between B & C)

Building A
 Gross Footprint: 21,100 Sq Ft
 First Floor Net Area: 15,850 Sq Ft
 Total Building Area: 63,300 Sq Ft

Building A
 Gross Footprint: 22,480 Sq Ft
 First Floor Net Area: 17,290 Sq Ft
 Total Building Area: 67,440 Sq Ft

Building C
 Gross Footprint: 11,985 Sq Ft
 First Floor Net Area: 8,820 Sq Ft
 Total Building Area: 35,950 Sq Ft

**FARMERS
 Farmers Market**
 11,250 sqft
 11,025 SFT

Apartment Unit Counts

BUILDING A	SQ FT	AMOUNT	TOTAL
1-Bed	660	9	18
	725	3	
	740	4	
	930	2	
2-Bed	950	33	36
	1050	3	
BUILDING B	SQ FT	AMOUNT	
1-Bed	660	7	9
	910	2	
2-Bed	950	36	42
	1150	3	
	1200	3	
3-Bed	1360	3	3
BUILDING C	SQ FT	AMOUNT	
1-Bed	660	6	9
	675	3	
2-Bed	950	18	19
	1050	1	
3-Bed	1250	2	2
TOTAL:			138

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 www.dixonarch.com

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 Grand Rapids, MI 49501
 p. (616) 920-1655
 www.copperrockconstruction.com

Thornapple River Mill Project
 420 Mill Street
 Hastings, Michigan
Conceptual Site Plan & First Floor Plans

Revisions:

Project No: 222045
 Issue Date: 6/1/23
 Reviewer: KCD
 Drawn By: TRW

1. Site Plan
 SCALE: 1" = 30'-0"

A1.1



1. First Floor Plan
 SCALE: 1/16" = 1'-0"
 0' 8' 16' 32'



2. Second / Third Floor Plans
 SCALE: 1/16" = 1'-0"
 0' 8' 16' 32'



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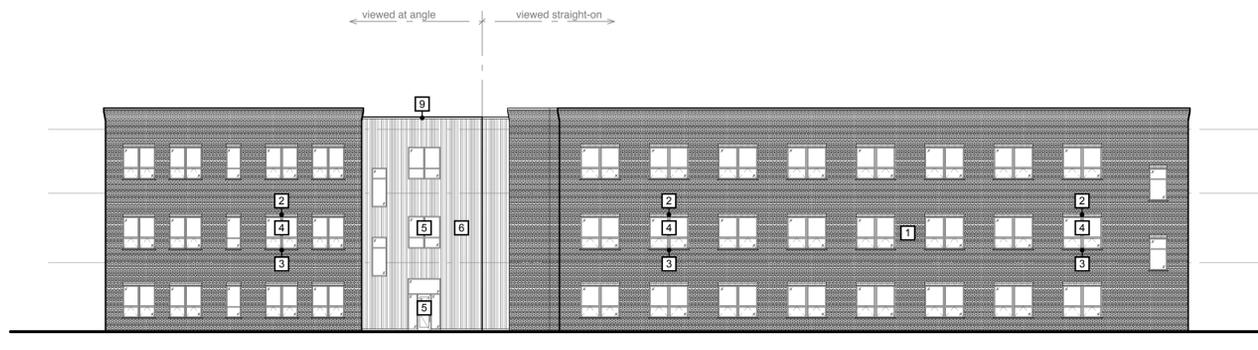
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Thornapple River Mill Project
 420 Mill Street
 Hastings, Michigan
Building 'A' Floor Plans

Revisions:

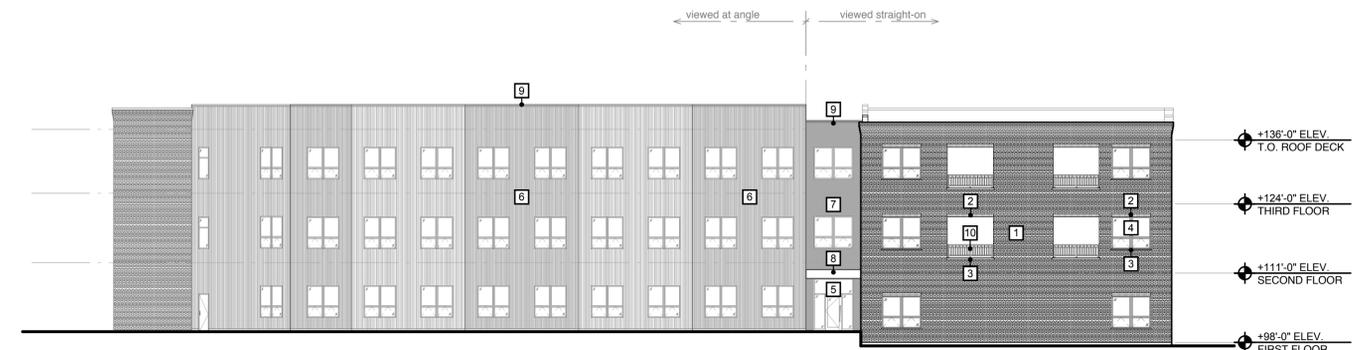
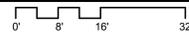
Project No: 222045
 Issue Date: 6/1/23
 Reviewer: KCD
 Drawn By: TRW

A2.1



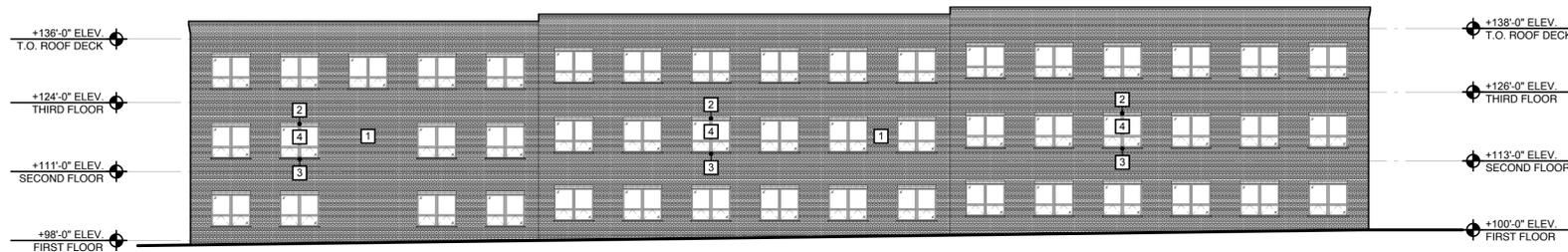
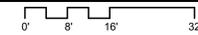
1. North Elevation (Mill Street)

SCALE: 1/16" = 1'-0"



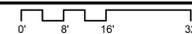
2. South Elevation (Thornapple River)

SCALE: 1/16" = 1'-0"



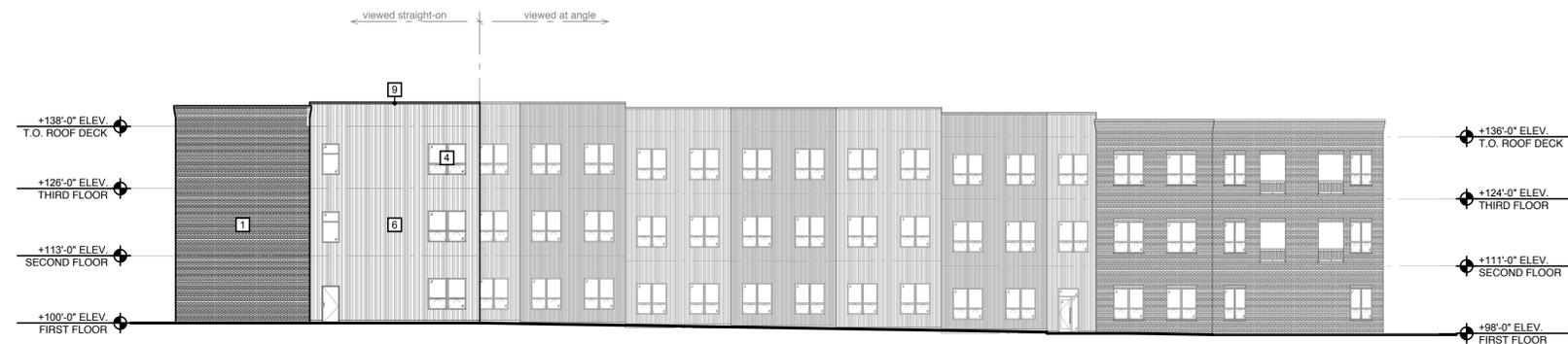
3. East Elevation (Towards Building 'B')

SCALE: 1/16" = 1'-0"



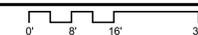
Exterior Materials Legend (OR DESIGN EQUIVALENT)

LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	MODULAR BRICK #1A	BELDEN OR ALT.	COMMON BOND	COLOR #1
2	MODULAR BRICK #1B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
3	PRECAST CONCRETE	TERRY'S	SMOOTH FACE	TBD
4	ALUMINUM WINDOW	TBD	TBD	TBD
5	ALUMINUM STOREFRONT SYSTEM	TUBELITE	2" FACE WIDTH	TBD
6	STANDING SEAM METAL PANEL	TBD	TBD	TBD
7	ARCHITECTURAL METAL PANEL	TBD	TBD	TBD
8	METAL PANEL CANOPY	TBD	TBD	TBD
9	PREFINISHED METAL PARAPET COPING	TBD	TBD	TBD
10	PREFINISHED METAL RAILING	TBD	TBD	PAINTED - COLOR TBD
11				
12				
13				
14				
15				



4. West Elevation (Parking Lot)

SCALE: 1/16" = 1'-0"



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Thornapple River Mill Project
420 Mill Street
Hastings, Michigan
Building 'A' Exterior Elevations

Revisions:

Project No: 222045

Issue Date: 6/1/23

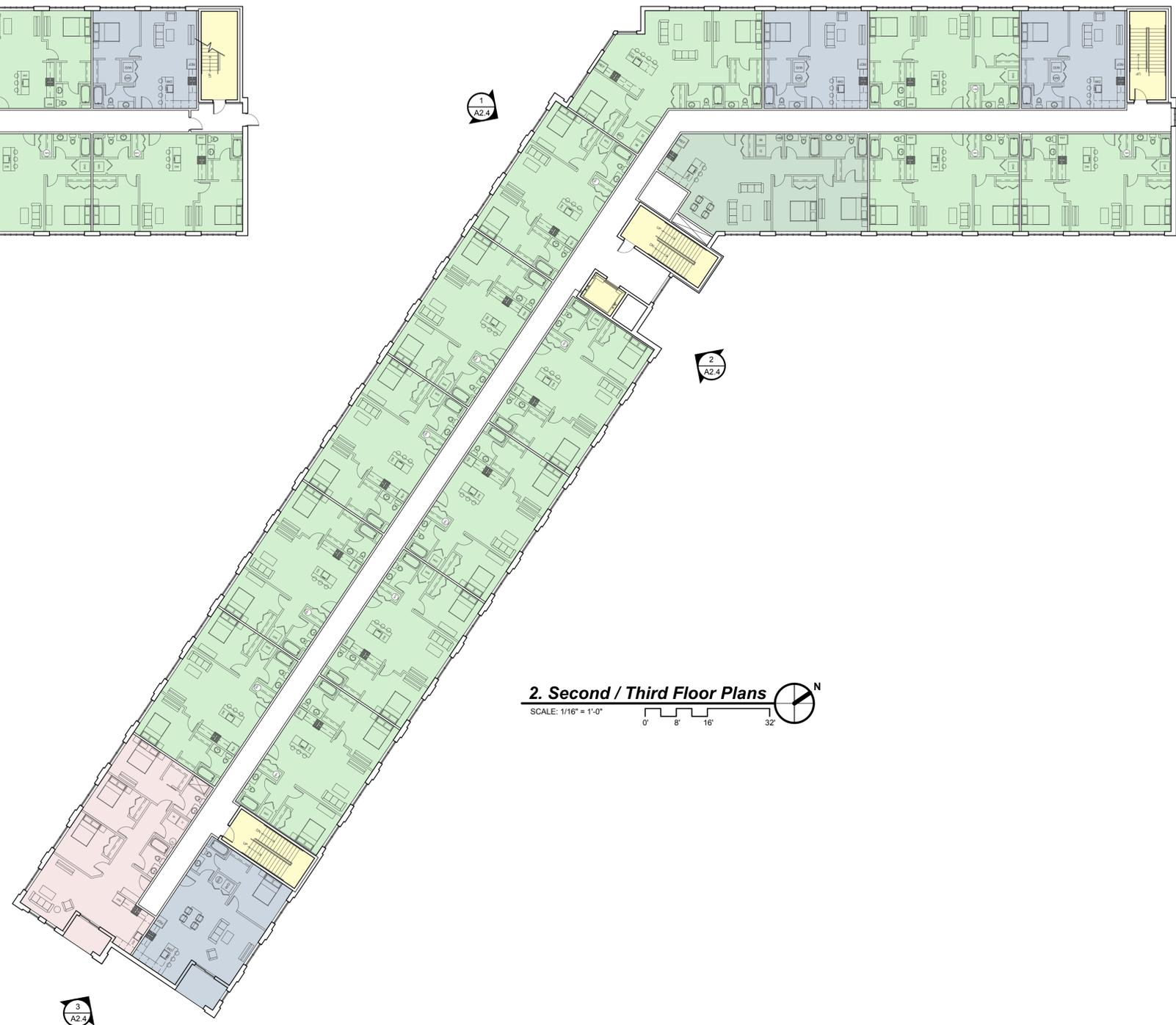
Reviewer: KCD

Drawn By: TRW

A2.2



1. First Floor Plan
SCALE: 1/16" = 1'-0"



2. Second / Third Floor Plans
SCALE: 1/16" = 1'-0"

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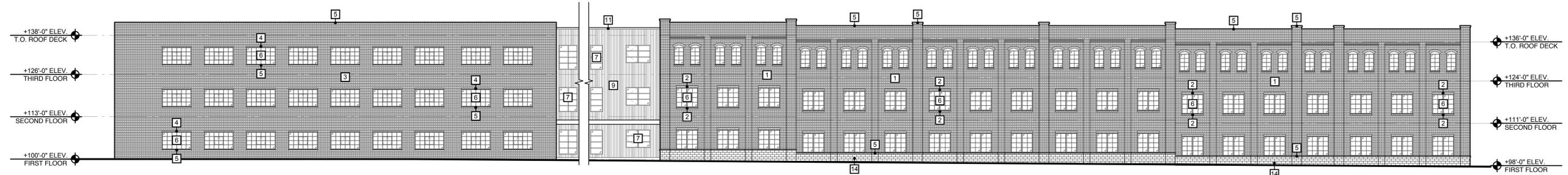
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Thornapple River Mill Project
420 Mill Street
Hastings, Michigan
Building 'B' Floor Plans

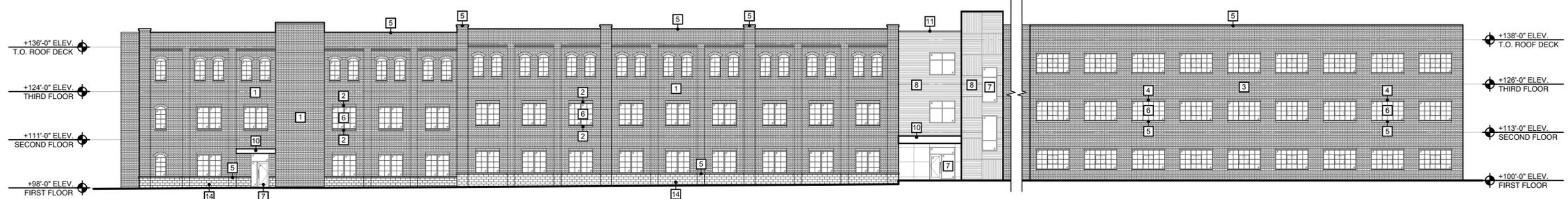
Revisions:

Project No: 222045
Issue Date: 6/1/23
Reviewer: KCD
Drawn By: TRW

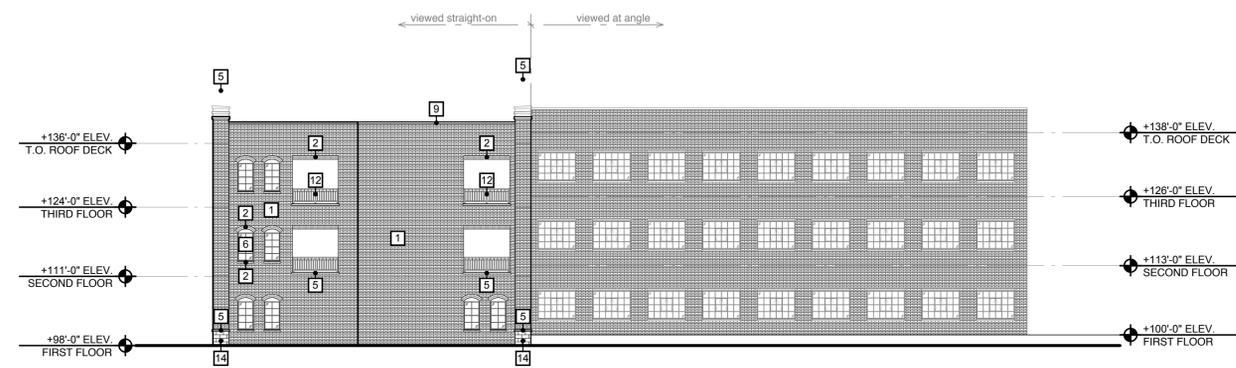
A2.3



1. West Elevation(s) (Mill Street & Towards Building A)
SCALE: 1/16" = 1'-0"



2. East Elevation(s) (Parking Lot)
SCALE: 1/16" = 1'-0"



3. South Elevation
SCALE: 1/16" = 1'-0"

Exterior Materials Legend (OR DESIGN EQUIVALENT)

LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	MODULAR BRICK #1A	BELDEN OR ALT.	COMMON BOND	COLOR #1
2	MODULAR BRICK #1B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
3	MODULAR BRICK #2A	BELDEN OR ALT.	COMMON BOND	COLOR #1
4	MODULAR BRICK #2B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
5	PRECAST CONCRETE	TERRY'S	SMOOTH FACE	TBD
6	ALUMINUM-CLAD WINDOW	TBD	TBD	TBD
7	ALUMINUM STOREFRONT SYSTEM	TUBELITE	2" FACE WIDTH	TBD
8	CORRUGATED METAL PANEL	TBD	TBD	TBD
9	STANDING SEAM METAL PANEL	TBD	TBD	TBD
10	METAL PANEL CANOPY	TBD	TBD	TBD
11	PREFINISHED METAL PARAPET COPING	TBD	TBD	TBD
12	PREFINISHED METAL RAILING	TBD	TBD	PAINTED - COLOR TBD
13	STEEL CHANNEL BALCONY	TBD	TBD	GALVANIZED
14	CMU BLOCK VENEER	TBD	TBD	TBD
15				



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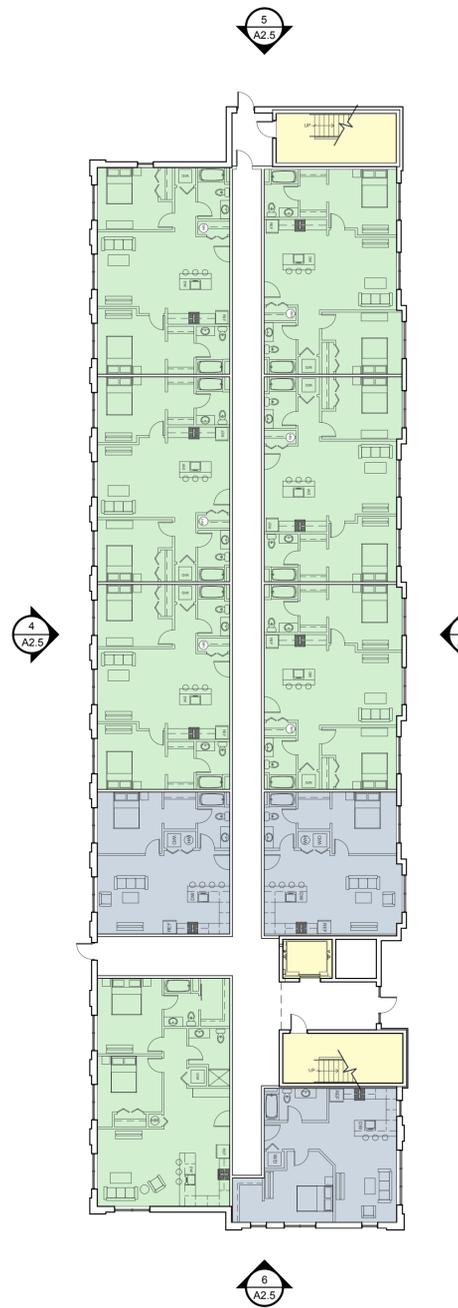
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Thornapple River Mill Project
420 Mill Street
Hastings, Michigan
Building 'B' Exterior Elevations

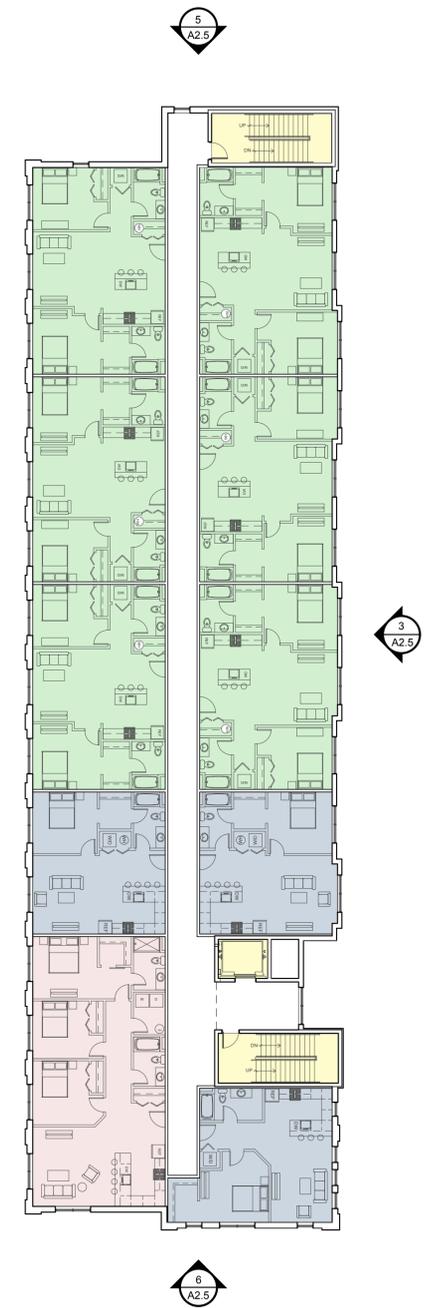
Revisions:

Project No: 222045
Issue Date: 6/1/23
Reviewer: KCD
Drawn By: TRW

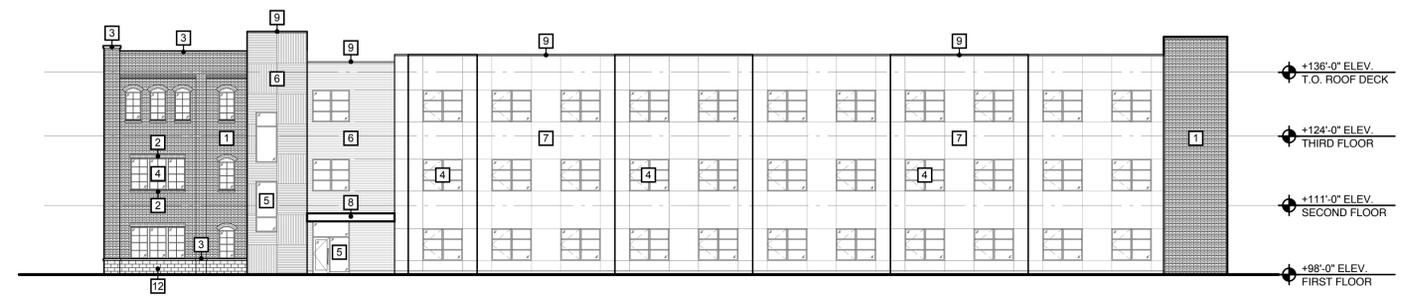
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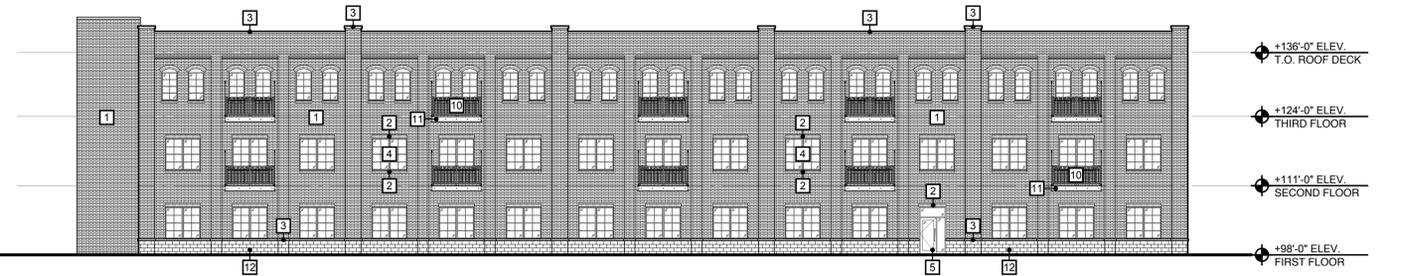
1. First Floor Plan
SCALE: 1/16" = 1'-0"



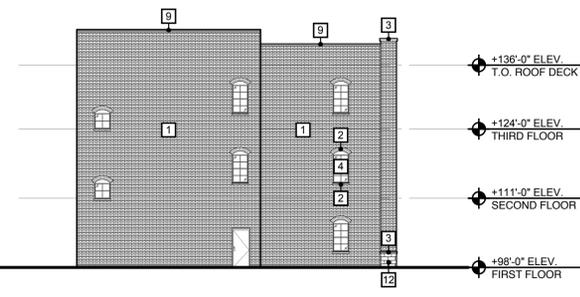
2. Second / Third Floor Plans
SCALE: 1/16" = 1'-0"



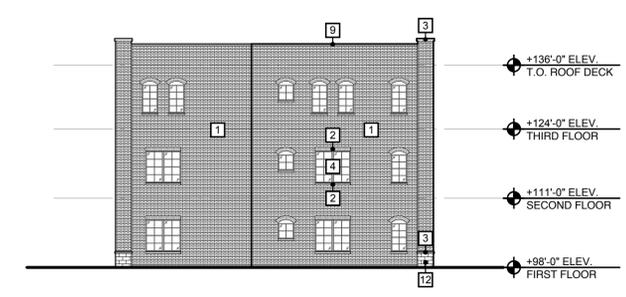
3. North Elevation (Parking Lot)
SCALE: 1/16" = 1'-0"



4. South Elevation (Thornapple River)
SCALE: 1/16" = 1'-0"



5. West Elevation (Towards Bldg B)
SCALE: 1/16" = 1'-0"



6. East Elevation
SCALE: 1/16" = 1'-0"

Exterior Materials Legend (OR DESIGN EQUIVALENT)

LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	MODULAR BRICK #1A	BELDEN OR ALT.	COMMON BOND	COLOR #1
2	MODULAR BRICK #1B	BELDEN OR ALT.	ROWLOCK COURSING	COLOR #1
3	PRECAST CONCRETE	TERRY'S	SMOOTH FACE	TBD
4	ALUMINUM-CLAD WINDOW	TBD	TBD	TBD
5	ALUMINUM STOREFRONT SYSTEM	TUBELITE	2" FACE WIDTH	TBD
6	CORRUGATED METAL PANEL	TBD	TBD	TBD
7	ARCHITECTURAL METAL PANEL	TBD	TBD	TBD
8	METAL PANEL CANOPY	TBD	TBD	TBD
9	PREFINISHED METAL PARAPET COPING	TBD	TBD	TBD
10	PREFINISHED METAL RAILING	TBD	TBD	PAINTED - COLOR TBD
11	STEEL CHANNEL BALCONY	TBD	TBD	GALVANIZED
12	CMU BLOCK VENEER	TBD	TBD	TBD
13				
14				
15				



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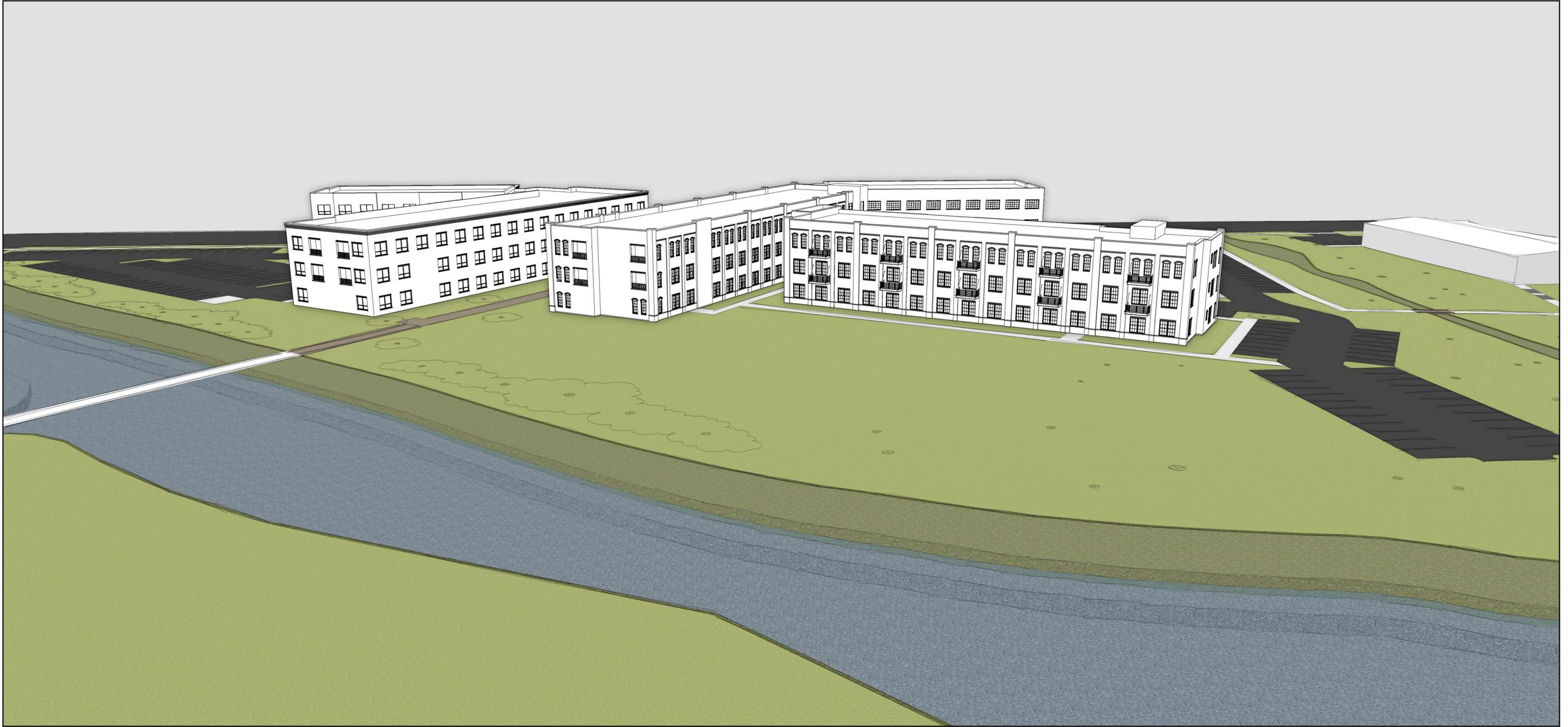
Thornapple River Mill Project
420 Mill Street
Hastings, Michigan

Building 'C' Floor Plans & Exterior Elevations

Revisions:

Project No: 222045
Issue Date: 6/1/23
Reviewer: KCD
Drawn By: TRW

A2.5



VIEW FROM ACROSS THORNAPPLE RIVER



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Thornapple River Mill Project
420 Mill Street
Hastings, Michigan
Site Mass Model

Revisions:

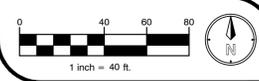
Project No: 222045

Issue Date: 6/1/23

Reviewer: KCD

Drawn By: TRW

A3.1



PLANS PREPARED BY:



DRAWN: eeg
CHECKED: SAO

PRELIMINARY
NOT FOR CONSTRUCTION

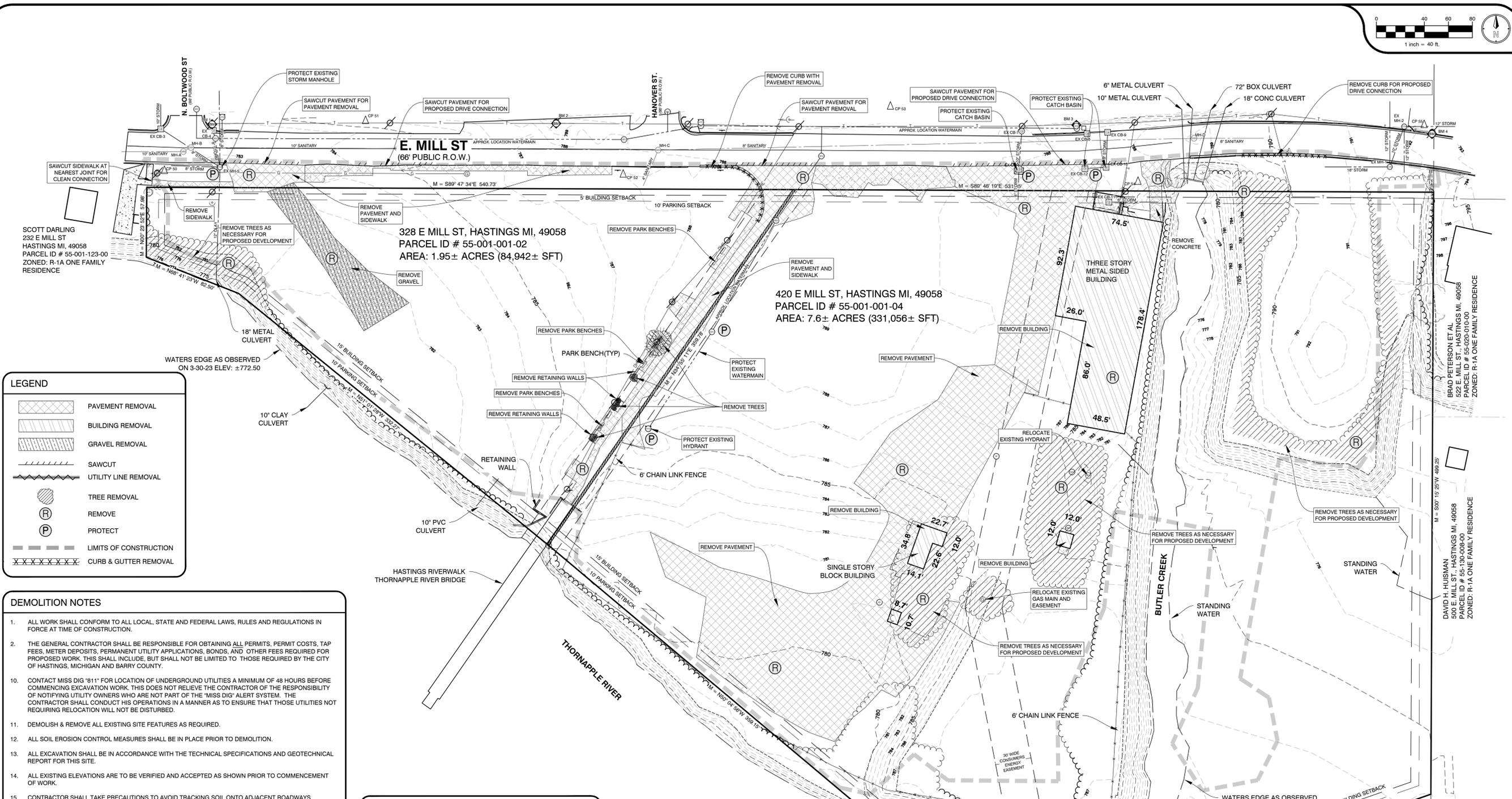
No.	ISSUED FOR:	DATE	BY:
0	SITE PLAN REVIEW	05/26/23	SBG
1			
2			
3			
4			

EXISTING CONDITIONS & DEMO PLAN
MILLS STREET MIXED USE
COPPERROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001
DATE
05/26/2023

SHEET NUMBER
C1.0



LEGEND

[Hatched Pattern]	PAVEMENT REMOVAL
[Hatched Pattern]	BUILDING REMOVAL
[Hatched Pattern]	GRAVEL REMOVAL
[Dashed Line]	SAWCUT
[Dashed Line]	UTILITY LINE REMOVAL
[Circle with X]	TREE REMOVAL
[Circle with R]	REMOVE
[Circle with P]	PROTECT
[Dashed Line]	LIMITS OF CONSTRUCTION
[X-X-X-X-X-X]	CURB & GUTTER REMOVAL

- DEMOLITION NOTES**
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF HASTINGS, MICHIGAN AND BARRY COUNTY.
 - CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
 - DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
 - ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
 - ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR THIS SITE.
 - ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
 - ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
 - REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
 - SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
 - ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
 - ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
 - REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
 - THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 - BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
 - CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

EX. STORM STRUCTURE INFORMATION

MH-1, 4' BRICK STRUCTURE RIM = 792.05' INV N 12" CPP (INV. = 786.10' INV N 18" CONC = 785.15' INV NE 12" CPP = 787.20' SUMP = 785.15'	CB-6, 2' BLOCK STRUCTURE RIM = 787.65' INV N 10' CLAY = 782.00' INV S 8' CLAY = 782.90' SUMP = 781.90'
MH-2, 2' STONE STRUCTURE RIM = 792.35' INV S 12' CLAY = 788.60' INV SE 10' CLAY = 788.85' INV E 12' CLAY = 790.40' SUMP = 788.10'	CB-7, 2' CONC. STRUCTURE RIM = 787.88' INV S 10' CLAY = 782.93' SUMP = 781.68'
CB-3, 2' BLOCK STRUCTURE RIM = 783.29' INV N 10' CLAY = 781.29' INV SE 8' CLAY = 781.24' SUMP = 780.54'	CB-8, 1.5' SQUARE BRICK STRUCTURE RIM = 783.15' STRUCTURE COLLAPSED AND FULL
CB-4, 2' BLOCK STRUCTURE RIM = 783.41' INV N 8' CLAY = 781.45' SUMP = 781.15'	CB-9, 2' BLOCK STRUCTURE RIM = 787.57' INV S 8' CLAY = 784.17' SUMP = 783.72'
MH-5, 2' BLOCK STRUCTURE RIM = 783.15' INV N 8' CLAY = 780.20' INV N 8' CLAY = 780.15' INV NW 8' CLAY = 780.35' INV S 12' CLAY = 780.95' INV E 8' CLAY = 781.45' SUMP = 779.90'	CB-11, 1.5' SQUARE CONC. STRUCTURE RIM = 786.62' INV E 6' CLAY = 785.32' SUMP = 784.72'
	CB-12, 1.5' SQUARE BRICK STRUCTURE RIM = 787.46' (BROKEN STRUCTURE) INV E 10' CLAY = 781.11' INV W 10' CLAY = 781.06' SUMP = 781.06'

BENCHMARKS

BM-1: ELEV: 785.69
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX TWENTY FEET EAST OF CENTERLINE OF BOLTWOOD STREET.

BM-2: ELEV: 790.05
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX NINETY FEET WEST OF CENTERLINE OF HANOVER ST.

BM-3: ELEV: 789.80
TOP OF NORTH EAST FLANG BOLT ON HYDRANT LOCATED APPROX. TWENTY FIVE FEET NORTH OF CENTERLINE OF MILL ST. AND APPROX. 8' FEET WEST OF CATCH BASIN IN MILL ST.

BM-4: ELEV: 794.54
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. FIFTEEN FEET NORTH FROM CENTERLINE OF MILL ST. & APPROX. 23' FEET EAST OF MH-2.

EX. SANITARY STRUCTURE INFORMATION

MH-A, 4' CONC. STRUCTURE RIM = 783.27' INV NE 10' PVC 779.12' INV W 10' PVC 779.02'	MH-C, 4' BRICK STRUCTURE RIM = 787.96' INV E 8' CLAY = 781.01' INV W 8' CLAY = 780.96' INV SW 4' METAL = 782.96'
MH-B, 2' BLOCK STRUCTURE RIM = 783.27' INV SW 10' PVC 779.17' INV E 10' CLAY 779.27'	MH-D, 4' CONC. STRUCTURE RIM = 789.18' INV E 8' CLAY 782.88' PLPE W = FULLY COVERED



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
- SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING. SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

LEGEND

- HEAVY DUTY PAVEMENT (SEE DETAIL ON C5.0)
- LIGHT DUTY PAVEMENT (SEE DETAIL ON C5.0)
- CONCRETE SIDEWALK (SEE DETAIL ON C5.0)

BENCHMARKS

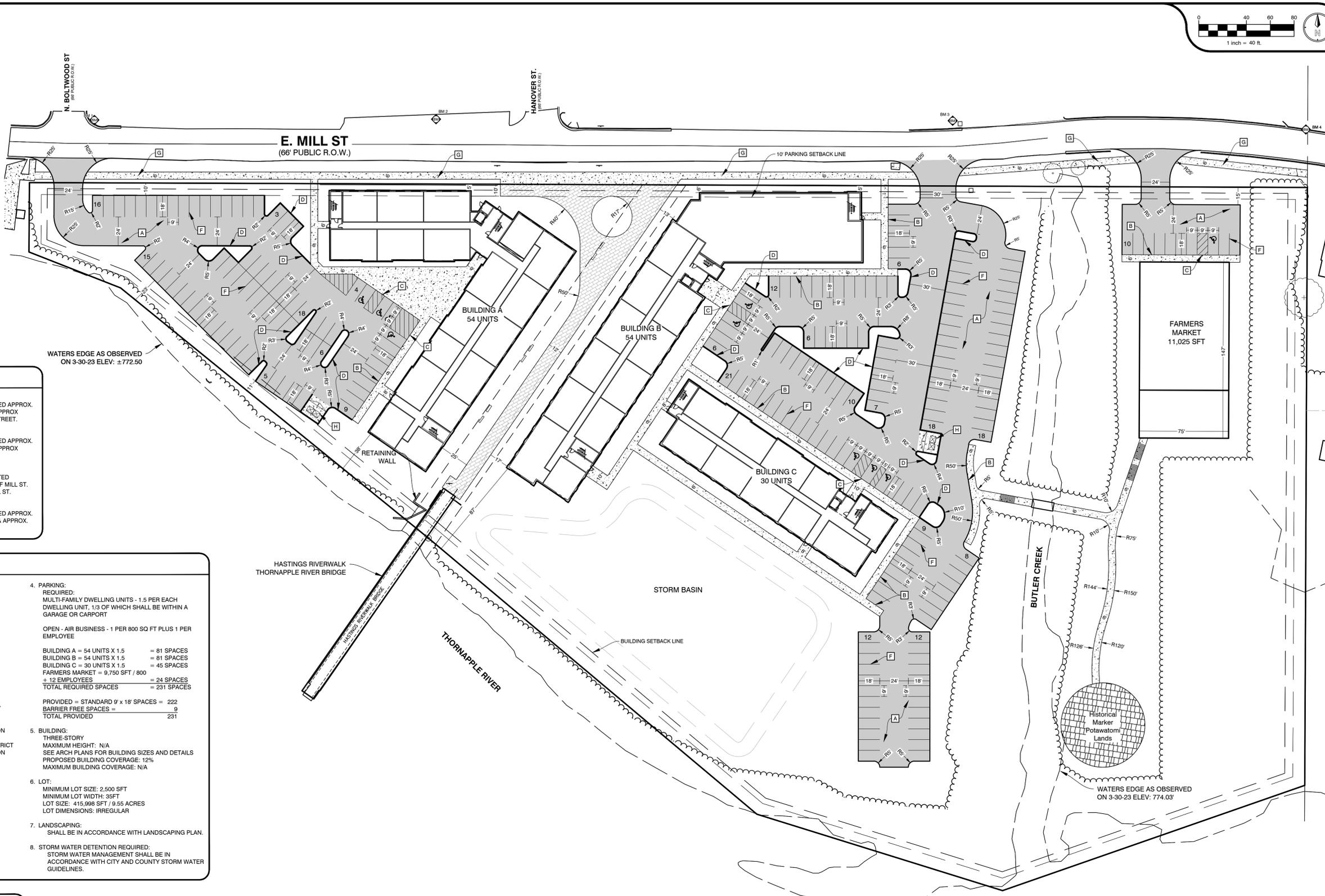
- BM-1: ELEV. 785.09
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX TWENTY FEET EAST OF CENTERLINE OF BOLTWOOD STREET.
- BM-2: ELEV. 790.05
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. TWENTY FEET NORTH OF CENTERLINE OF MILL ST. & APPROX NINETY FEET WEST OF CENTERLINE OF HANOVER ST.
- BM-3: ELEV. 789.80
TOP OF NORTH EAST FLANG BOLT ON HYDRANT LOCATED APPROX. TWENTY FIVE FEET NORTH OF CENTERLINE OF MILL ST. AND APPROX. 8' ± FEET WEST OF CATCH BASIN IN MILL ST.
- BM-4: ELEV. 794.54
SET MAG NAIL IN SOUTH SIDE OF POWER POLE LOCATED APPROX. FIFTEEN FEET NORTH FROM CENTERLINE OF MILL ST. & APPROX. 23' ± FEET EAST OF MH-2.

SITE DATA

- PROPERTY INFORMATION:
PARCEL #S: 55-001-001-02
55-001-001-04
SITE AREA: 415,998 SF (9.55 AC)
OWNER: ROYAL COACH ACQUISITIONS, LLC
402 E MILL STREET
HASTINGS, MI 49058
DEVELOPER: COPPERROCK CONSTRUCTION
601 FIFTH STREET NW, SUITE 300
GRAND RAPIDS, MI 49504
- ZONING:
PROPERTY CURRENTLY ZONED:
PUD - PLANNED UNIT DEVELOPMENT
ABUTTING PROPERTY CURRENTLY ZONED:
NORTH: D-1 INDUSTRIAL DISTRICT
SOUTH: R-P - THORNAPPLE RIVER PROTECTION OVERLAY ZONE
EAST: R-1A - ONE FAMILY RESIDENTIAL DISTRICT
WEST: R-P - THORNAPPLE RIVER PROTECTION OVERLAY ZONE
PROPOSED LAND USE = MIXED USE
*PERMITTED USE IN PUD
- SETBACKS:
FRONT = 5'
SIDES = 15'
REAR = 15'
- PARKING:
REQUIRED:
MULTI-FAMILY DWELLING UNITS - 1.5 PER EACH DWELLING UNIT, 1/3 OF WHICH SHALL BE WITHIN A GARAGE OR CARPORT
OPEN - AIR BUSINESS - 1 PER 800 SQ FT PLUS 1 PER EMPLOYEE
BUILDING A = 54 UNITS X 1.5 = 81 SPACES
BUILDING B = 54 UNITS X 1.5 = 81 SPACES
BUILDING C = 30 UNITS X 1.5 = 45 SPACES
FARMERS MARKET = 9,750 SFT / 800 + 12 EMPLOYEES = 24 SPACES
TOTAL REQUIRED SPACES = 231 SPACES
PROVIDED = STANDARD 9' x 18' SPACES = 222
BARRIER FREE SPACES = 9
TOTAL PROVIDED = 231
- BUILDING:
THREE-STORY
MAXIMUM HEIGHT: N/A
SEE ARCH PLANS FOR BUILDING SIZES AND DETAILS
PROPOSED BUILDING COVERAGE: 12%
MAXIMUM BUILDING COVERAGE: N/A
- LOT:
MINIMUM LOT SIZE: 2,500 SFT
MINIMUM LOT WIDTH: 35FT
LOT SIZE: 415,998 SFT / 9.55 ACRES
LOT DIMENSIONS: IRREGULAR
- LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
- STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH CITY AND COUNTY STORM WATER GUIDELINES.

SITE PLAN NOTES

- A BITUMINOUS PAVEMENT (SEE DETAIL THIS SHEET).
- B INTEGRAL CURB/WALK (SEE DETAIL THIS SHEET).
- C AT-GRADE RAMP (SEE GRADING PLAN).
- D 6" BARRIER CURB
- E DOWNSPOUT (TYP.)
- F 4" PAINTED PARKING LOT MARKINGS / STRIPING (TYP.)
- G PROPOSED PUBLIC SIDEWALK
- H 18' x 18' CONCRETE DUMPSTER PAD (PROVIDE 18' x 12' DUMPSTER ENCLOSURE AREA FOR (2) STD DUMPSTERS).



PLANS PREPARED BY:



DRAWN: eag
CHECKED: SAO



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SITE LAYOUT
MILLS STREET MIXED USE
COPPERROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001
DATE
05/26/2023

SHEET NUMBER
C2.0



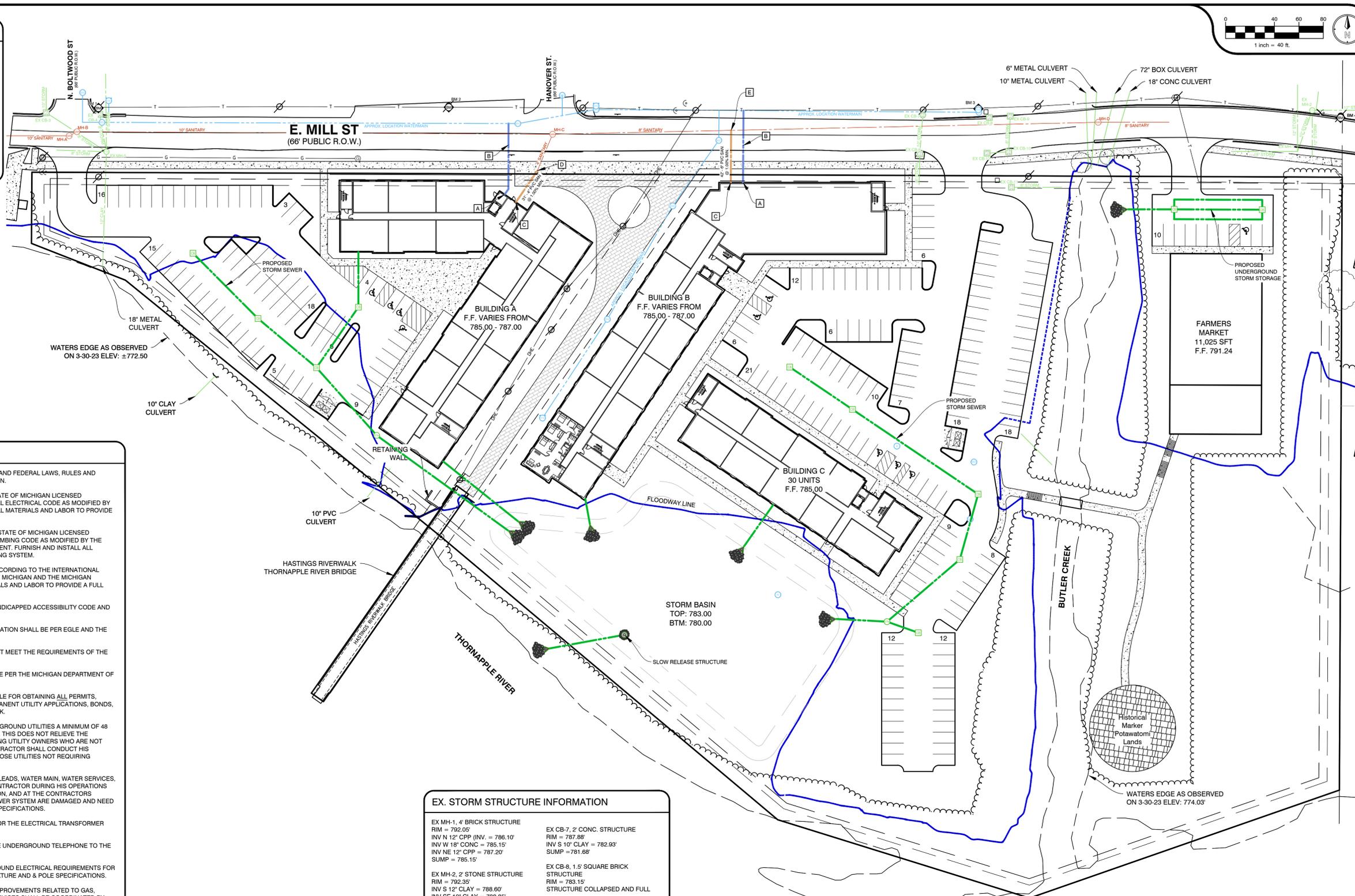
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UTILITY PLAN NOTES

- A WATER SERVICE. COORDINATE CONNECTION WITH PLUMBING PLANS.
- B 59 LF TO R/W - WATER SERVICE. CONNECT TO THE EXISTING MAIN. COORDINATE WITH CITY OF HASTINGS - 269-645-2468
- C SEWER LATERAL. COORDINATE CONNECTION WITH PLUMBING PLANS.
- D CONNECT TO THE EXISTING MANHOLE. COORDINATE WITH CITY OF HASTINGS - 269-645-2468
- E CONNECT TO EXISTING SEWER MAIN. COORDINATE WITH CITY OF HASTINGS - 269-645-2468

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.F.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
3. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
4. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
6. WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND THE CITY OF HASTINGS REQUIREMENTS.
7. SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF THE CITY OF HASTINGS AND THE EGLE.
8. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
10. CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET THE CITY OF HASTINGS SPECIFICATIONS.
12. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
13. THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
14. REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
15. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
16. CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
17. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
18. THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING MAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE. THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE CITY OF HASTINGS.
19. CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
20. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
21. ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE EGLE FOR THE SPECIFIC REGION OF WORK IN CITY OF HASTINGS.
22. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
23. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY SME.
24. DRIVEWAY LAYOUT AND CONNECTION TO E MILLS STREET SHALL COMPLY WITH ALL ASPECTS OF THE CITY OF HASTINGS DRIVE PERMIT.

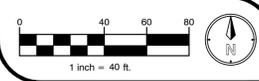


EX. STORM STRUCTURE INFORMATION

EX MH-1, 4' BRICK STRUCTURE RIM = 792.05' INV N 12" CPP (INV. = 786.10' INV W 18" CONC = 785.15' INV NE 12" CPP = 787.20' SUMP = 785.15'	EX MH-2, 2' STONE STRUCTURE RIM = 792.35' INV S 12" CLAY = 788.60' INV SE 10" CLAY = 788.85' INV E 12" CLAY = 790.40' SUMP = 788.10'	EX CB-3, 2' BLOCK STRUCTURE RIM = 783.29' INV N 10" CLAY = 781.29' INV SE 8" CLAY = 781.24' SUMP = 780.54'	EX CB-4, 2' BLOCK STRUCTURE RIM = 783.15' INV SES 8" CLAY = 781.45' SUMP = 781.15'	EX MH-5, 2' BLOCK STRUCTURE RIM = 783.15' INV NNW 8" CLAY = 780.20' INV N 8" CLAY = 780.15' INV NW 8" CLAY = 780.35' INV S 12" CLAY = 779.95' INV E 8" CLAY = 781.45' SUMP = 779.90	EX CB-6, 2' BLOCK STRUCTURE RIM = 787.65' INV N 10" CLAY = 782.00' INV S 8" CLAY = 782.90' SUMP = 781.90'	EX CB-7, 2' CONC. STRUCTURE RIM = 787.88' INV S 10" CLAY = 782.93' SUMP = 781.68'	EX CB-8, 1.5' SQUARE BRICK STRUCTURE RIM = 783.15' STRUCTURE COLLAPSED AND FULL	EX CB-9, 2' BLOCK STRUCTURE RIM = 787.57' INV S 8" CONC = 784.17' SUMP = 783.72'	EX CB-10, 1.5' SQUARE BRICK STRUCTURE RIM = 787.41' INV E 10" CLAY = 780.66' INV W 10" CLAY = 780.56' SUMP = 780.56'	EX CB-11, 1.5' SQUARE CONC. STRUCTURE RIM = 786.52' INV E 6" CLAY = 785.32' SUMP = 784.72'	EX CB-12, 1.5' SQUARE BRICK STRUCTURE RIM = 787.46' (BROKEN STRUCTURE) INV E 10" CLAY = 781.11' INV W 10" CLAY = 781.06' SUMP = 781.06'
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EX. SANITARY STRUCTURE INFORMATION

MH-A, 4' CONC. STRUCTURE RIM = 783.32' INV NE 10" PVC 779.12' INV W 10" PVC 779.02'	MH-B 2' BLOCK STRUCTURE RIM = 783.27' INV SW 10" PVC 779.17' INV E 10" CLAY 779.27'	MH-C 4' BRICK STRUCTURE RIM = 787.96' INV E 8" CLAY = 781.01' INV W 8" CLAY = 780.96' INV SW 4" METAL = 782.96'	MH-D 4' CONC. STRUCTURE RIM = 789.18' INV E 8" CLAY 782.88' PLPE W = FULLY COVERED
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PLANS PREPARED BY:



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UTILITY PLAN
MILLS STREET MIXED USE
COPPERROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
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SITE SECTION:

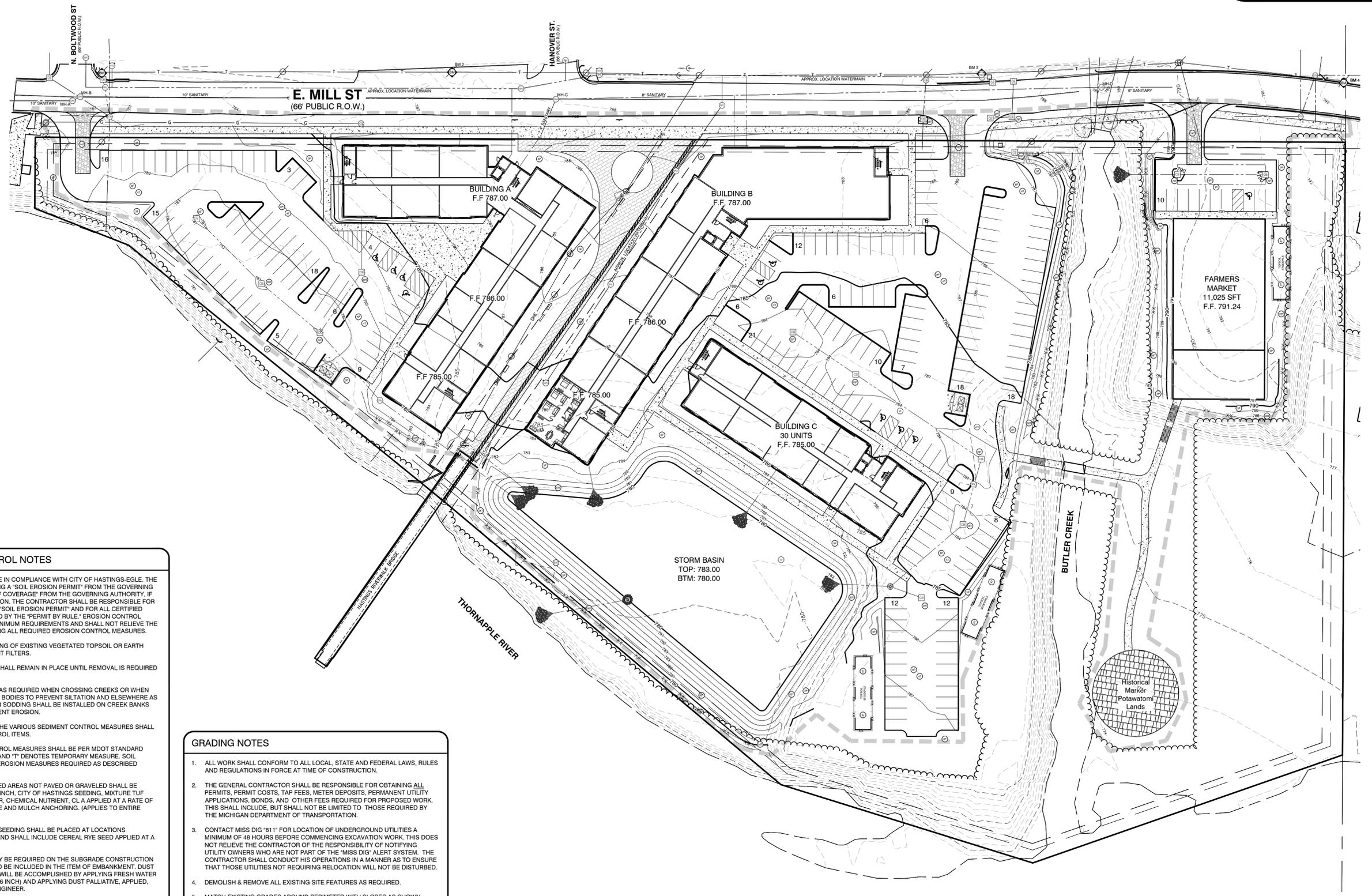
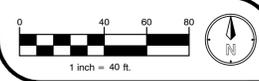
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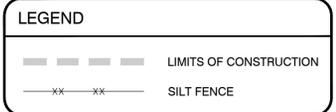


SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH CITY OF HASTINGS-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A 'SOIL EROSION PERMIT' FROM THE GOVERNING AUTHORITY AND A 'PERMIT BY RULE/NOTICE OF COVERAGE' FROM THE GOVERNING AUTHORITY. IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE 'SOIL EROSION PERMIT' AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE 'PERMIT BY RULE'. EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PER MDOT STANDARD DETAILS. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.
- (#) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH. CITY OF HASTINGS SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL APPLIED AT A RATE OF 228 LB/ACRE, MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
- (3P) DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.
- (3T) DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH), AND APPLYING DUST PALLIATIVE, APPLIED, CACL₂ (TON) AS DIRECTED BY THE PROJECT ENGINEER.
- (8P) DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION
- (14T) DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2'-4" AGGREGATE.
- (20T) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
- (20T) DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.
- (33T) DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE 'MISS DIG' ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.



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PLANS PREPARED BY:



DRAWN: eag
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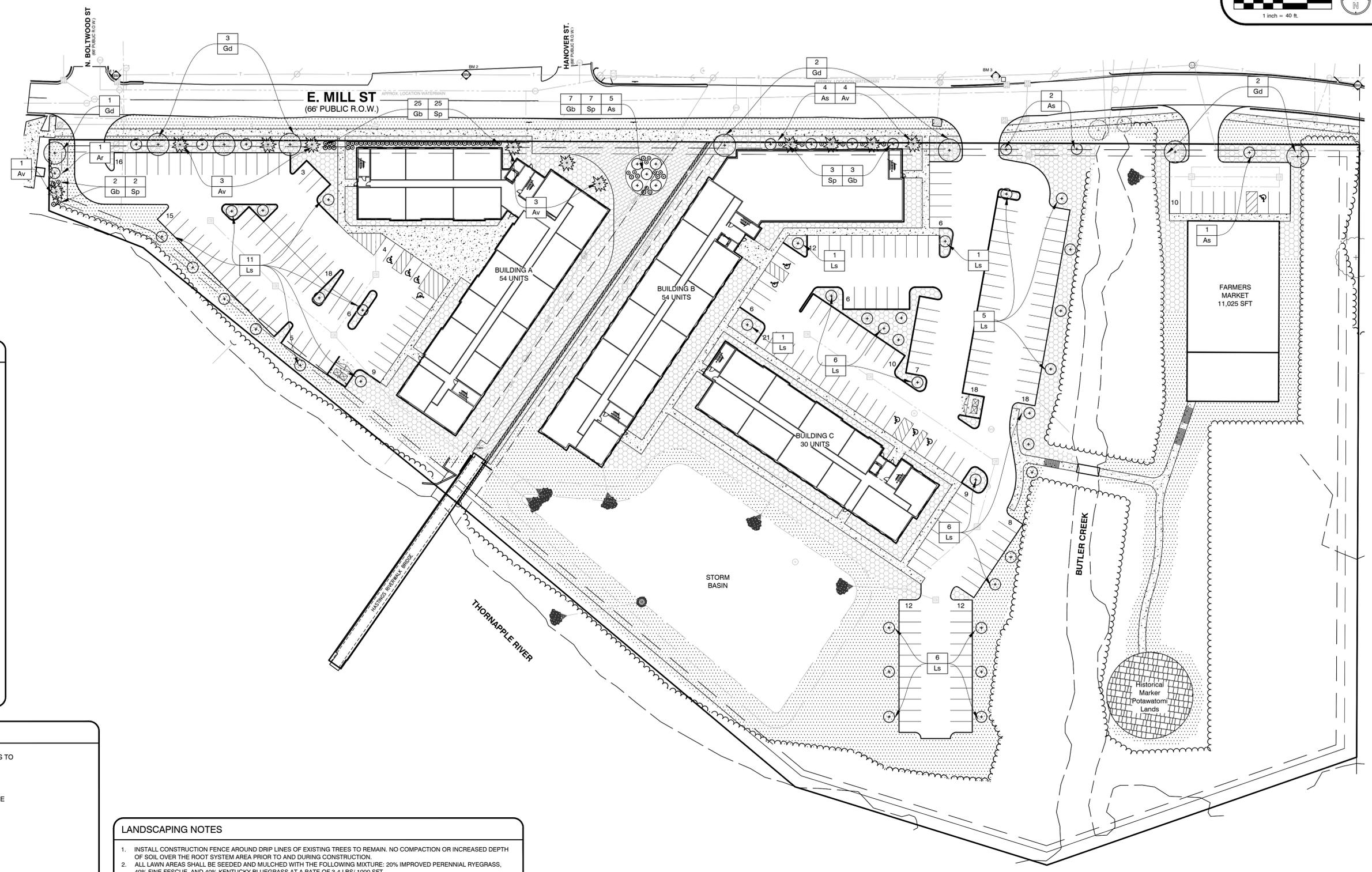
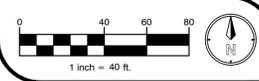
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GRADING & SESC PLAN
MILLS STREET MIXED USE
COPPERROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

JOB NUMBER
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DATE
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- LANDSCAPING NOTES**
- LANDSCAPE REQUIRED:
- BUFFER ZONE:**
10 FOOT WIDE BUFFER
PLANTINGS REQUIRED PER 100 LINEAR FEET OF BUFFER ZONE
 - 2 CANOPY TREES
 - 2 ORNAMENTAL TREES
 - 2 EVERGREEN TREES
 - 4 SHRUBS

WEST BUFFER ZONE = 50' / 100' = 0.5 TREES

 - 2 * 0.5 = 1 CANOPY TREE
 - 2 * 0.5 = 1 ORNAMENTAL TREES
 - 2 * 0.5 = 1 EVERGREEN TREES
 - 4 * 0.5 = 2 SHRUBS

EAST BUFFER ZONE = 400' / 100' = 4 TREES

 - 2 * 4 = 8 CANOPY TREE
 - 2 * 4 = 8 ORNAMENTAL TREES
 - 2 * 4 = 8 EVERGREEN TREES
 - 4 * 4 = 16 SHRUBS
 - FRONT YARD LANDSCAPING:**
 - 1 CANOPY TREE AND 2 EVERGREEN TREES PLUS 1 CANOPY AND 1 EVERGREEN FOR EACH 75 FEET IN ROAD FRONTAGE
 - 1 ORNAMENTAL TREE PLUS 1 FOR EACH 75 FEET IN ROAD FRONTAGE
 - SHRUBS AT A RATE OF 1 PER EACH TREE REQUIRED

1,072 FEET OF ROAD FRONTAGE / 75 = 14.3 = 15 ADDITIONAL TREES

 - 16 CANOPY TREES, 18 EVERGREEN TREES
 - 16 ORNAMENTAL TREES
 - 50 SHRUBS
 - PARKING LANDSCAPING**
1 CANOPY TREE FOR EVERY 20 SPACES
 - 231 SPACES / 20 = 11.56 = 12 TREES
 - 1 TREE PER LANDSCAPE ISLAND
 - 8 LANDSCAPE ISLAND = 8 TREES
 - 20 TOTAL PARKING LOT TREES

- LEGEND**
- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED SHADE TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED SHRUB DECIDUOUS/ EVERGREEN
 - SOD LAWN WITH IRRIGATION ON 4" TOPSOIL
 - PERENNIAL RYE GRASS WITHOUT IRRIGATION ON 4" TOPSOIL
- ALL PLANTINGS AND LANDSCAPED BEDS REQUIRE IRRIGATION - EITHER DRIP LINE OR MISTERS AS REQUIRED TO ESTABLISH GROWTH AND MAINTAIN HEALTH OF ALL PLANTINGS/LANDSCAPED BEDS.
- LANDSCAPING CONTRACTOR RESPONSIBLE FOR TOUCHING-UP AND FINISH-LEVELING OF TOPSOIL AS NECESSARY TO ENSURE HYDROSEED AND SOD ARE INSTALLED ON A SMOOTH AND LEVEL SURFACE FREE OF CLUMPS, STICKS, HOLES, ETC.

- LANDSCAPING NOTES**
- INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
 - ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/ 1000 SFT.
 - ALL EDGING SHALL BE STANDARD COMMERCIAL STEEL EDGING 3/8" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
 - PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," MEASURE ACCORDING TO ANSI Z60.1 STANDARDS. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
 - PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
 - REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
 - MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
 - MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
 - TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

Shrub Planting Schedule

Symbol	Latin Name	Common Name	Size	Container Type	Comments
Sp	<i>Spiraea x bumalda 'Goldflame'</i>	Goldflame Spirea	24" Ht.	3-5 gallon cont.	3' O.C.
Gb	<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	24" Ht.	B&B or Cont.	3' O.C.

Tree Planting Schedule

Symbol	Latin Name	Common Name	Size	Container Type	Comments
As	<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple	2.5" Cal.	B&B	
Av	<i>Thuja orientalis</i>	Aborvitae	4" Ht.	B&B	
Gb	<i>Gleditsia triacanthos 'Skycole'</i>	Skyline Honey Locust	2.5 - 3" Cal.	B&B	
Ls	<i>Liquidambar styraciflua</i>	Sweetgum	2.5 - 3" Cal.	B&B	



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

PLANS PREPARED BY:

AR ENGINEERING
CIVIL ENGINEERING & SURVEYING
MICHIGAN | INDIANA | ILLINOIS | OHIO
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www.ar-engineering.com

DRAWN: eag
CHECKED: SAO

PRELIMINARY

No.	ISSUED FOR:	DATE	BY:
0	SITE PLAN REVIEW	05/26/23	SAO
1			
2			
3			
4			

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LANDSCAPING PLAN
MILLS STREET MIXED USE
COPPER ROCK
208 W KALAMAZOO ST.
SECTION 17, T03N, R08W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
23144001

DATE
05/26/2023

SHEET NUMBER
L1.0

City of Hastings
Planning Commission
Work Tasks for 2023
STATUS REPORT FOR JUNE 2023

1. Continue to work with Hastings Charter Township, Rutland Charter Township and others in regional growth planning and management efforts.
2. Review the Court Street PUD using hypothetical build out scenarios.
3. Consider actions strategies as identified in the Master Plan to accomplish specific desired outcomes within commercial and residential zoning districts.

- Provide for a wide variety of housing types, sizes, and densities.
- Maintain existing housing stock and infrastructure.
- Encourage residential development within areas targeted for growth and investment.
- Provide for land use options/incentives designed to encourage reuse of vacant buildings and infill development.

4. Consider zoning amendments related to the M-37 Access Management Plan.
5. Monitor plan to construct sidewalks and trail system throughout the City of Hastings.

- Ongoing. City seeking funding where available.
6. Consider changes to the infrastructure requirements to accommodate denser or more traditional residential development.
7. Consider development of “Complete Streets” ordinance or policy.
8. Consider the following principles to align with Blue Zones Activate Program:

- Offer incentives or expedited approvals for the following Blue Zone principles:
 - Locate new development adjacent to existing infrastructure
 - Create a mixed-use community
 - Build pedestrian amenities (sidewalks, lights, benches, etc) on both side of the streets
 - Provide public facilities for physical activity such as shared-use paths or trails
 - Create bike lanes and bike parking
 - Create opportunities for resident interaction
 - Create mid-block cross walks for traffic calming

9. Review Sec. 90-973 Signs in the B-1, B-2, B-3, B-4, and B-6 districts (as related to portable sidewalk ground signs).
10. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements.
11. Continue path to Redevelopment Ready Communities (RRC) certification by reviewing zoning related codes and procedures.
12. Review Section 90-929 Supplemental Parking Requirement in Residential Zones and other pertinent sections relating to the parking of semi-tractors, semi-trailers, and vehicles with two or more rear axles.
13. Review and consider adding text regarding green infrastructure components.
14. Review subdivision text regarding street width.
15. Review Article 90-XII Landscaping Section 90-1010 for permitted trees that are an invasive species.
16. Review Section 90-883 (b)(4) pertaining to the maximum driveway width serving a single-family or two-family dwelling.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowstone Mobile Home Park 1812 Lavender Drive	1.14.20	1.14.20	2.3.20	Approved	PED X Insulation from roadway Natural feature buffer	
EWB Properties, LLC 400 and 410 W. State Street	2.7.20	2.7.20	3.2.20	Approved	Stormwater runoff compliance	
Hastings Pro Auto Service 229 N. Broadway	10.25.21	10.25.21	3.7.22	Approved	Dumpster enclosure Sidewalk installation Fire Dept. review of traffic circulation	
Meadowstone Mobile Home Park 1812 Lavender Drive	1.13.22	1.13.22	5.2.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
EWB 400 W. State Street	7.14.21	7.14.21	6.6.22	Approved	Monument sign on State - Removal Illumination must meet standards	
City of Hastings Parking Lot 8	8.19.22	NA	NA	Administrative	Fencing details Parking space width compliance Canopy tree type compliance	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Serenity Village 700 East Woodlawn	9.28.22	9.28.22	11.7.22	Approved	Landscaping Off Street Loading Ped. Access from sidewalk	