

HASTINGS PLANNING COMMISSION A G E N D A

Monday March 4, 2024

1. **Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
2. **Pledge of Allegiance**
3. **Approval / additions / deletions to agenda**
4. **Approval of Minutes** February 5, 2024 Draft Meeting Minutes of the Planning Commission *
5. **Informative Items:** None
6. **Public Hearings:**
 - A. Public hearing to review and consider special use permit and site plan review from Rusty Bible for a contractor yard for construction equipment at 1631 S. Hanover. *
7. **New Business:** None
8. **Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2024 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
 - D. Continue discussion regarding setback requirements in the R-S Zoning District or rezoning of properties currently zoned R-S to R-2 as discussed by Garry Moyer at 936 W. Clinton during the February 5, 2024 meeting. *
9. **Open Public Discussion and Comments**
10. **Staff Comments**
11. **Commissioner Comments**
12. **Adjourn**

*Indicates attachment

CITY OF HASTINGS
PLANNING COMMISSION MEETING MINUTES
February 5, 2024

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: Levi Bolthouse, Scott Darling, David Hatfield, Chelsey Foster, Nichole Lyke, Jacquie McLean, Tom Maurer, Sarah Moyer-Cale, and Dave Tossava. Absent: None.

Call to Order

Also present: Dan King, Community Development Director and Rebecca Harvey, Planning Consultant.

It was MOVED by McLean and SECONDED by Foster to approve the agenda as presented. All members present voting yes, motion carried.

Approval of the Agenda

It was MOVED by Foster and SECONDED by Maurer that the proposed minutes of the Regular Meeting of January 2, 2024 be approved. All members present voting yes; motion carried.

Approval of the Minutes

None.

Informative Items

None.

Public Hearing:

King presented a request by Garry Moyer regarding a potential rezoning of 939 W. Clinton and other nearby properties. Mr. and Mrs. Moyer would like to construct an attached garage to their home which would have the effect of encroaching into the required setback area. The property is currently zoned RS. They felt that rezoning to R-2 would alleviate their setback issue. Harvey provided feedback about the request. Discussion was held about potentially modifying the text of the RS district to reduce the setback requirements in lieu of rezoning the property. It was the consensus of the Planning Commission to post a public notice of a public hearing for both a property rezoning and text amendment for setback requirements. Harvey will present an analysis of the feasibility and effects of both options for that meeting.

New Business:
Discussion of 939 W. Clinton potential rezoning

It was MOVED by Lyke and SECONDED by McLean to schedule a public hearing for the rezoning and text amendment for the March Planning Commission meeting. All members present voting yes; motion carried.

Old Business
JPA/JPC Update

Neither the JPA nor JPC met in January.

No changes.

Work Task List

N6 towing site plan conditions were added to the tracking list.

Tracking Terms and Conditions

It was MOVED by Moyer-Cale and SECONDED by McLean to accept the 2023 Annual Report and submit it to the City Council. All members present voting yes; motion carried.

Annual Report

No public comment was received.

Public Comment

None.

Staff Comments

Foster expressed that it is nice to see all the development that is presently happening in Hastings.

**Commission
Comments**

It was MOVED by McLean and SECONDED by Maurer to adjourn the meeting. All members present voting yes, motion carried. Meeting adjourned at 7:42 p.m.

Adjournment

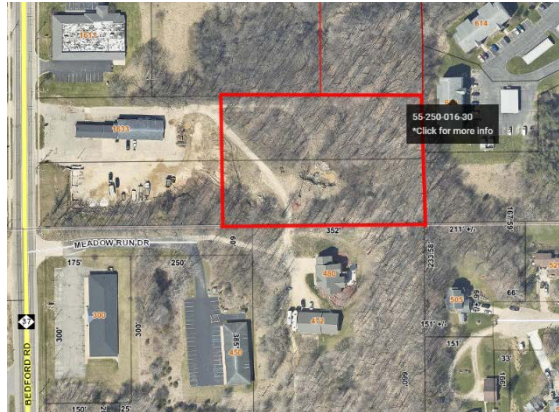
Respectfully submitted,

Sarah Moyer-Cale,
Secretary

City of Hastings

NOTICE OF PUBLIC HEARING ON A SPECIAL USE PERMIT FOR VACANT LAND SOUTH HANOVER STREET

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public regarding the request for a Special Use Permit and Site Plan Review from Rusty Bible for a contractor yard for construction equipment with easement from 1633 S. Hanover. The public hearing will be held at **7:00 PM on Monday March 4, 2024** in the Council Chambers, second floor of City Hall, 201 East State Street, Hastings, MI 49058. Please check the City of Hastings website at www.hastingsmi.gov or contact City Hall at 269-945-2468 for details.



All interested citizens are encouraged to attend and to submit comments.

A copy of the plans and additional background materials are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 E. State Street, Hastings, MI 49058. Questions or comments can be directed to Dan King, Community Development Director at 269-945-2468 or dking@hastingsmi.gov.

The City will provide necessary aids and services to individuals with disabilities upon five days' notice to the Clerk of the City of Hastings. Individuals requiring these services should contact the Clerk of the City of Hastings at 269-945-2468, or via email at cbever@hastingsmi.gov.

Christopher R. Bever
City Clerk

Please publish in the February 15, 2024 edition of the
Hastings Banner.



Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: 2-9-24

Applicant Name: BIBLE (Last) RUSTY (First) L (M.I.)

Address: 1631 S. HANOVER ST (Street) HASTINGS, MI 49058 (City, State, Zip)

Telephone: 269-838-1147 (Business) → (Cellular)

Email: rustybible.office@gmail.com

Applicants Interest in Property: OWNER

Owners Name (If Different From Above): SAME

Request:

- Rezoning
- Site Plan Review
- Other: _____
- Special Use Permit
- PUD
- Plat or Condo
- PUD Phase Approval

Address of Property: ~~To be determined~~ 1631 S. Hanover

Legal Description: on file

Current Zoning: B-6 Proposed Zoning: B-6

Applicable Fees: \$1,700.00

Applicants Signature: (x) [Signature] Owner (Title)

Staff Signature: [Signature] CRP (Title)

Office Use Only

Application Number: _____ Date Advertised: 2-15-24

Filing Date: 2-9-24 Date of Meeting: 3-4-24

Fees Paid: \$1,700 2-9-24 Board Action: _____

To Clerks Office On: _____ Effective Date: _____

Distribution	Customer Number	Description	Amount
PLANNING AND ZONING (SITE PLAN		PLANNING AND ZONING (SITE PLAN	1,700.00
			1,700.00

Payment Type	GL Account	Check Number	Amount
CHECK	001000001000	42469	1,700.00
			1,700.00

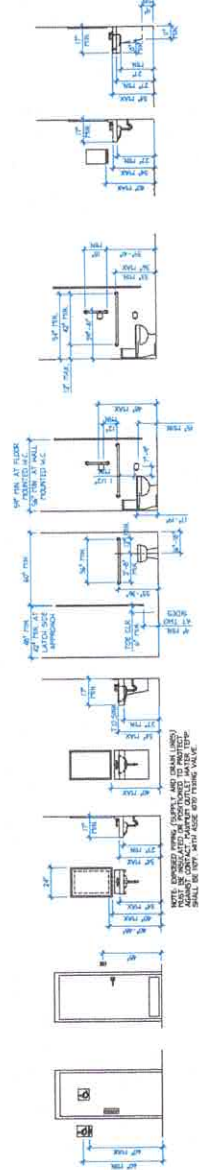
RB EXCAVATING LLC NEW BUILDING

DRAWING INDEX

- | | | |
|----|----|----------------------------|
| 1. | A | COVER SHEET |
| 2. | A1 | FLOOR PLAN |
| 3. | A2 | ELEVATIONS |
| 4. | A3 | ELEVATION |
| 5. | A4 | FOUNDATION / TRIMMING PLAN |



LOCATION MAP - CITY OF HASTINGS, BARRY COUNTY
NOT TO SCALE



ACCESSIBILITY DIMENSIONS

GENERAL NOTES:

- 1) Building Data:
 - a) Use Cover 1-1
 - b) Occupancy: Single-Family Dwelling
 - c) Building Area: 4,238 sq. ft. (444 sq. ft. per room)
 - d) Occupant Load: 120 persons
- 2) Building Location:
 - a) Address: 12345 Main St, Hastings, MI 49057
 - b) Parcel ID: 1234567890
 - c) Zoning: Residential Single-Family (RS-1)
- 3) Building Details:
 - a) Foundation: 12" x 12" concrete piers on 18" x 18" concrete footings
 - b) Floor Slab: 4" concrete on 2" polystyrene insulation on compacted fill
 - c) Walls: 8" concrete block with 1/2" gypsum board interior finish
 - d) Roof: 2" x 6" joists, 1/2" OSB sheathing, 15# asphalt/shingle
- 4) Construction Requirements:
 - a) All work shall be performed in accordance with applicable codes, rules, and local ordinances.
 - b) Verify the accuracy, completeness, and clarity of all drawings and specifications before proceeding with the work.
 - c) Provide adequate bracing, underpinning and any other means required to protect the safety, service, etc., and shall be responsible for any damage to the property, now and existing construction.
 - d) The contractor shall obtain all necessary permits from the City of Hastings, Michigan.
 - e) The contractor shall obtain all necessary permits from the State of Michigan.
- 5) Foundations:
 - a) Footings are designed to bear on undisturbed earth with an allowable bearing capacity of 2,000 psf.
 - b) All foundations shall be constructed with 3,000 psi concrete.
 - c) All foundations shall be constructed with 4" x 4" rebar.
 - d) All foundations shall be constructed with 1/2" diameter rebar.
 - e) All foundations shall be constructed with 1/2" diameter rebar.
- 6) Framing:
 - a) All framing lumber shall be kiln-dried to a maximum moisture content of 19%.
 - b) All framing lumber shall be treated with preservative.
 - c) All framing lumber shall be cut to length and installed in accordance with the manufacturer's instructions.
 - d) All framing lumber shall be installed in accordance with the manufacturer's instructions.
 - e) All framing lumber shall be installed in accordance with the manufacturer's instructions.
- 7) Partitions:
 - a) All partitions shall be constructed with 1/2" gypsum board on 2x4 studs.
 - b) All partitions shall be constructed with 1/2" gypsum board on 2x4 studs.
 - c) All partitions shall be constructed with 1/2" gypsum board on 2x4 studs.
 - d) All partitions shall be constructed with 1/2" gypsum board on 2x4 studs.
 - e) All partitions shall be constructed with 1/2" gypsum board on 2x4 studs.
- 8) Windows:
 - a) All windows shall be installed in accordance with the manufacturer's instructions.
 - b) All windows shall be installed in accordance with the manufacturer's instructions.
 - c) All windows shall be installed in accordance with the manufacturer's instructions.
 - d) All windows shall be installed in accordance with the manufacturer's instructions.
 - e) All windows shall be installed in accordance with the manufacturer's instructions.
- 9) Doors:
 - a) All doors shall be installed in accordance with the manufacturer's instructions.
 - b) All doors shall be installed in accordance with the manufacturer's instructions.
 - c) All doors shall be installed in accordance with the manufacturer's instructions.
 - d) All doors shall be installed in accordance with the manufacturer's instructions.
 - e) All doors shall be installed in accordance with the manufacturer's instructions.
- 10) Finishes:
 - a) All interior walls shall be finished with 1/2" gypsum board.
 - b) All interior walls shall be finished with 1/2" gypsum board.
 - c) All interior walls shall be finished with 1/2" gypsum board.
 - d) All interior walls shall be finished with 1/2" gypsum board.
 - e) All interior walls shall be finished with 1/2" gypsum board.

NO.	REVISIONS

RB EXCAVATING LLC
 5277 MILCOK ROAD
 EATON RAPIDS, MI 49027
 (517) 201-9433

RB EXCAVATING LLC
 (269) 845-8901

COVER SHEET
 FOR
RB EXCAVATING LLC
 1633 SOUTH HANOVER STREET
 HASTINGS, MICHIGAN 49058

SHEET NO. **A**
 DATE: 10/15/2023
 DRAWN BY: JLM
 CHECKED BY: JLM



01/2024

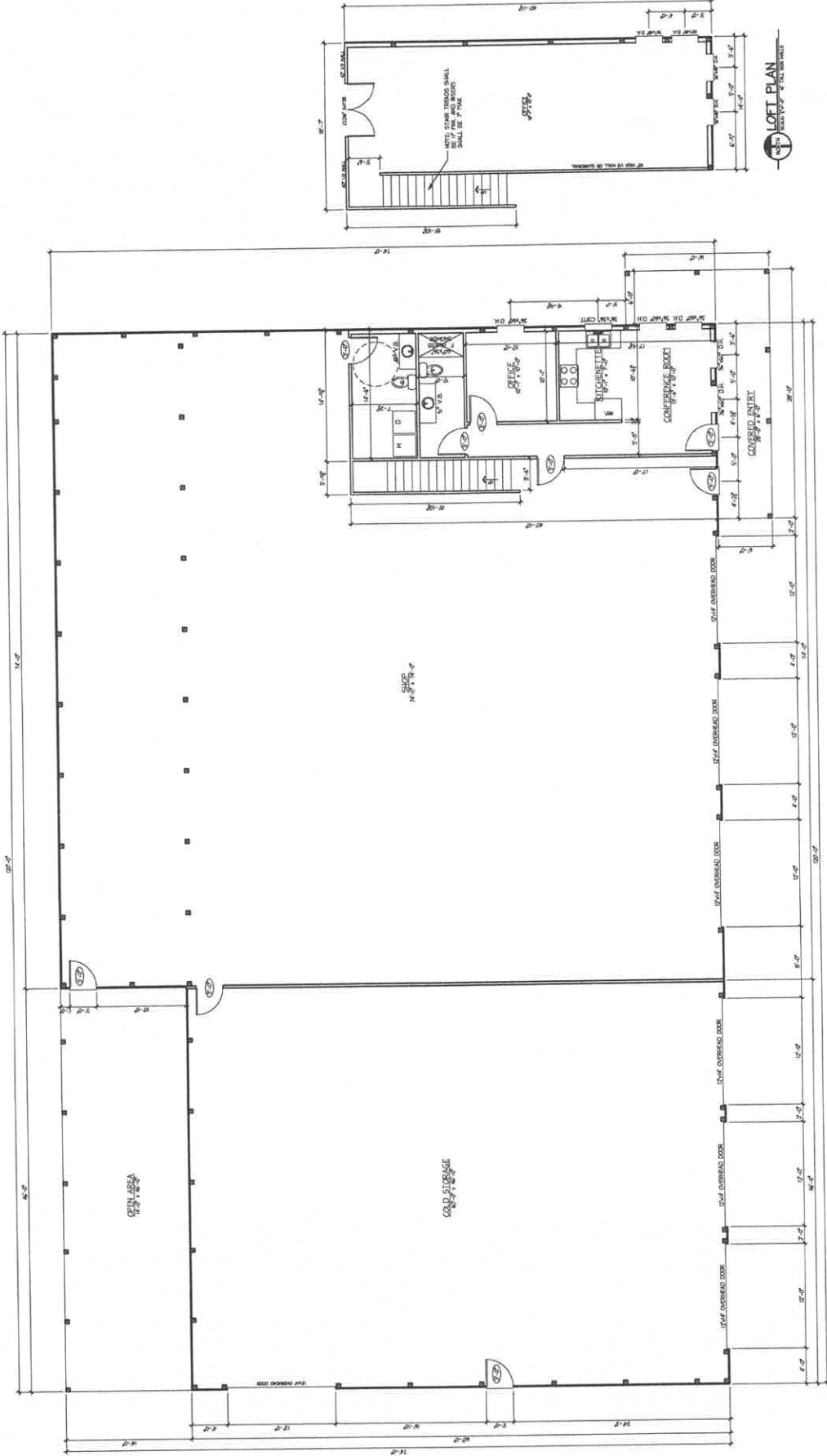
DATE	REVISIONS

SKYLINE
DESIGN
 5227 WILCOX ROAD
 EATON RAMPAGE, TX 76027
 (917) 281-8185

RB EXCAVATING LLC
 (269) 846-8901


FLOOR PLAN
 FOR
RB EXCAVATING LLC
 1633 SOUTH HANOVER STREET
 HASTINGS, MICHIGAN 49058

Drawn by:
 Date:
 SHEET NO. **A1**



PLAN NORTH
FLOOR PLAN
 NORTH SCALE: 1/8" = 1'-0" SEE WALLS

NO.	REVISIONS

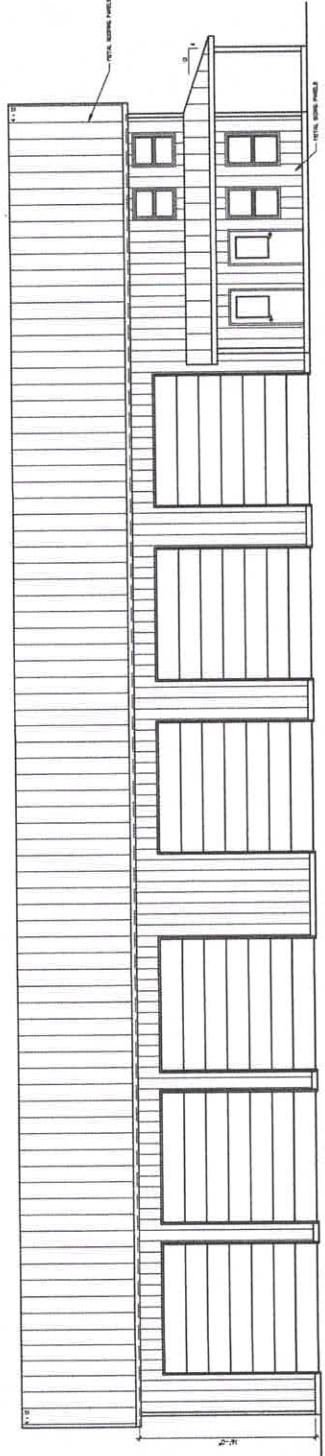


 BN CONSTRUCTION
 5027 MILKOW ROAD
 EATON RAPIDS, MI 49027
 (517) 281-0493

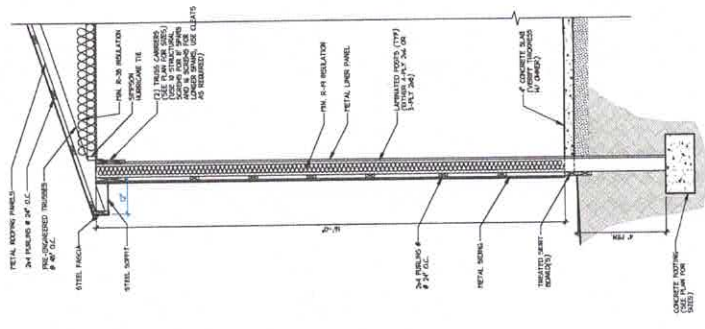
RB EXCAVATING LLC
 (269) 945-9801

ELEVATIONS
 FOR
 RB EXCAVATING LLC
 1633 SOUTH HANOVER STREET
 HASTINGS, MICHIGAN 49058

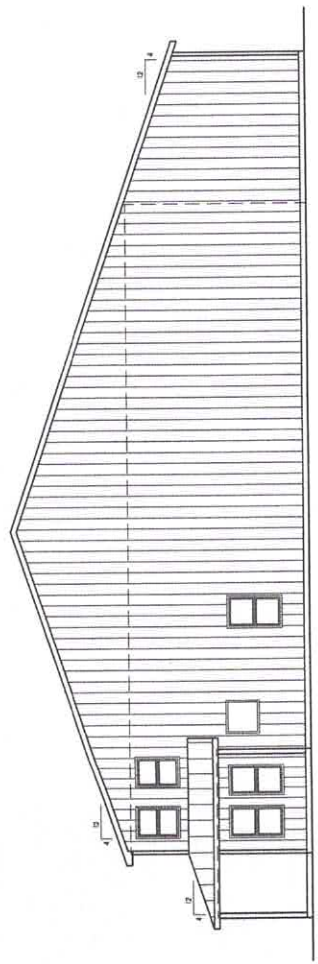
SHEET NO. **A2**
 DATE: JAN. 20, 2023
 DRAWN BY: JTC



FRONT ELEVATION
 SCALE 1/4" = 1'-0"
East




TYPICAL WALL SECTION
 SCALE 1/4" = 1'-0"
 1
 A2



RIGHT ELEVATION
 SCALE 1/4" = 1'-0"
South

DATE	REVISIONS

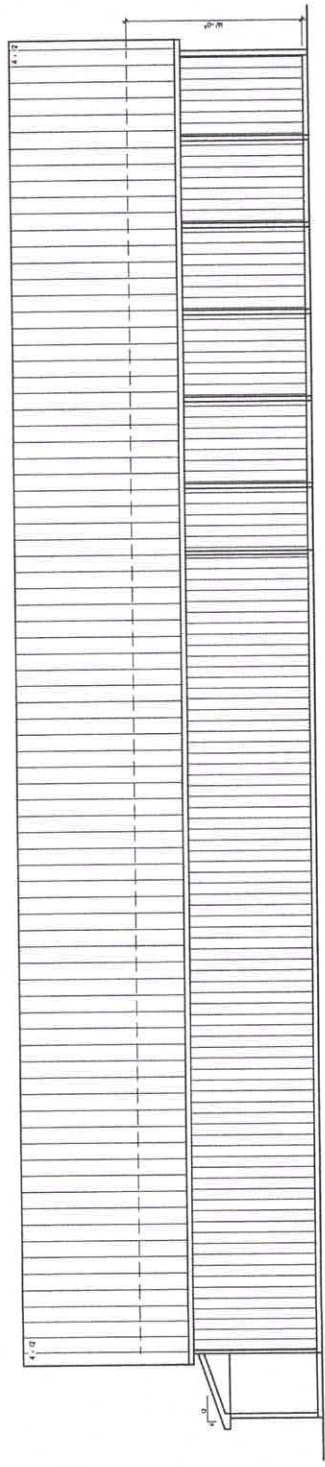


 5277 KILLOK ROAD
 EATON RAPIDS, MI 49827
 (517) 281-8133

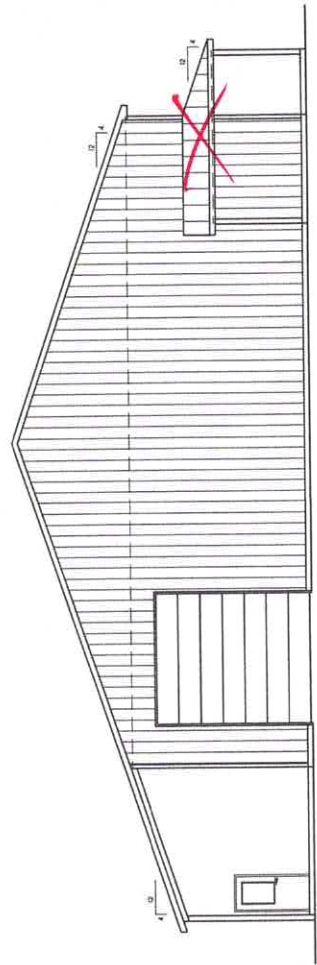
RB EXCAVATING LLC
 (269) 945-9901

ELEVATIONS
 FOR
 RB EXCAVATING LLC
 1613 SOUTH HANOVER STREET
 HASTINGS, MICHIGAN 49058

SHEET NO. **A3**
 DATE: 08_20_2021
 DRAWN BY:



REAR ELEVATION
 SCALE: 1/4" = 1'-0"
with



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"
None

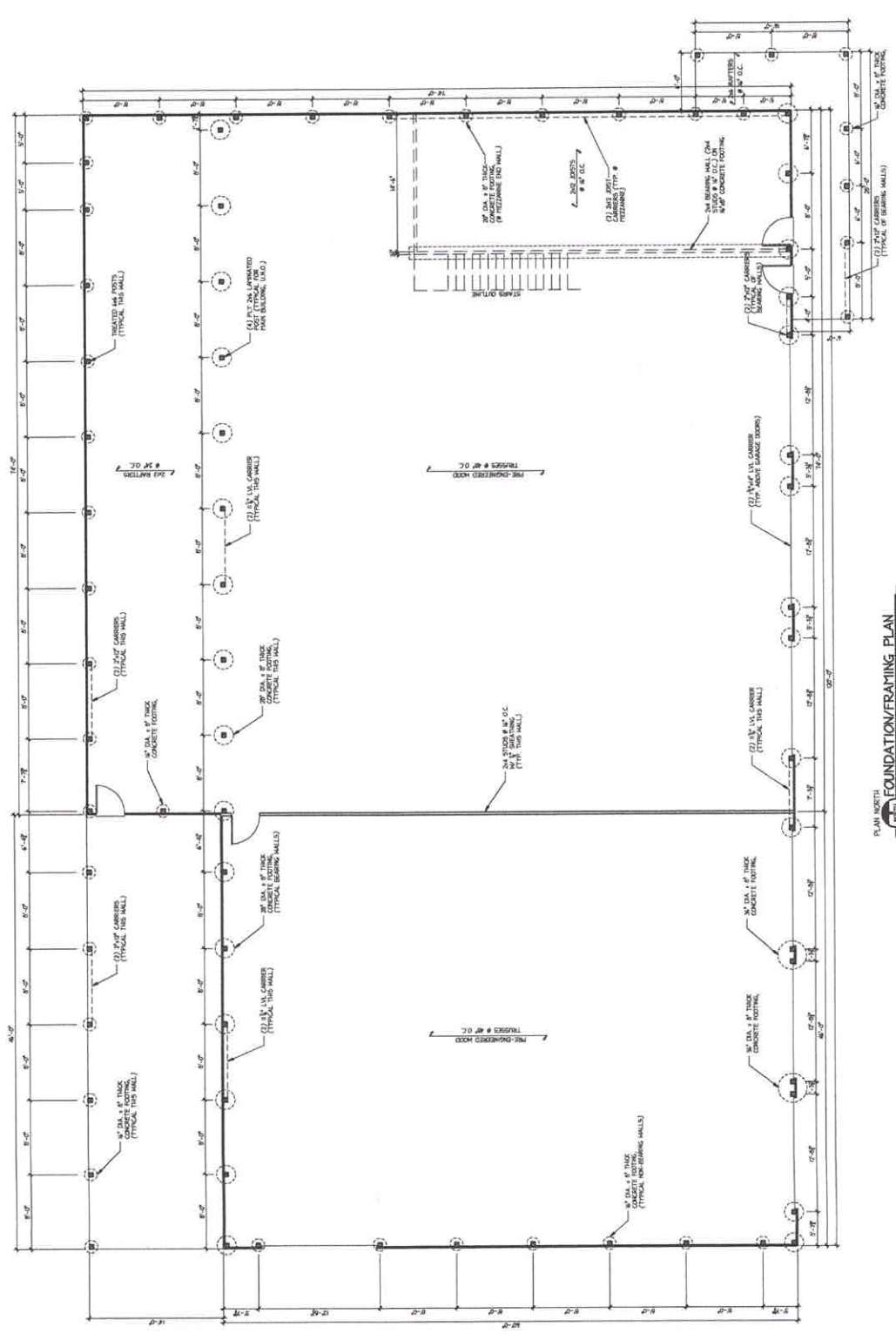
DATE	REVISION

BN DESIGN
 9227 MILCOW ROAD
 EATON RAPIDS, MI 49027
 (917) 281-8933

RB EXCAVATING LLC
 (269) 945-8901

FOUNDATION / FRAMING PLAN
 FOR
RB EXCAVATING LLC
 1633 SOUTH HANOVER STREET
 HASTINGS, MICHIGAN 49058

DATE: JUN 30, 2022
 SHEET NO.: **A4**



FOUNDATION/FRAMING PLAN
 PLAN NORTH

RUSTY BIBLE SITE PLAN

NOTES

EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2020 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.

THE PLACING OF PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED.

IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES. A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA, MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

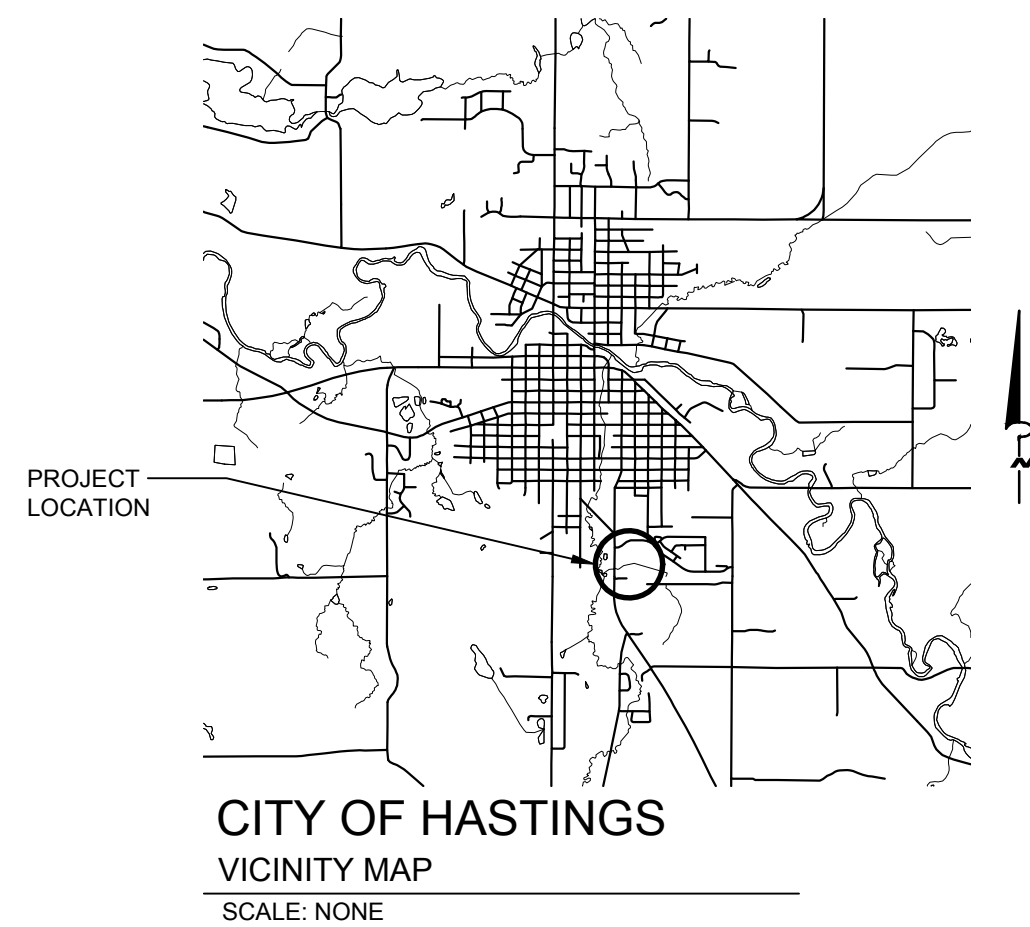
PROPERTY DESCRIPTION

PARENT PARCEL: 08-55-2550-019-00 & 08-55-250-018-00 - PER BARRY COUNTY REGISTER OF DEEDS THE NORTH 1/2 OF LOT 15 OF SUPERVISOR GLASGOW'S ADDITION TO THE CITY OF HASTINGS, AS RECORDED IN LIBER 3 OF PLATS ON PAGE 3, BEING PART OF THE NORTHWEST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 WEST, BARRY COUNTY, MICHIGAN.

THE SOUTH 1/2 OF LOT 15 OF SUPERVISOR GLASGOW'S PLAT, ACCORDING TO THE RECORDED PLAT THEREFORE, AS RECORDED IN LIBER 3 OF PLATS ON PAGE 3, CITY OF HASTINGS, BARRY COUNTY, MICHIGAN.

SALE PARCEL: PARCEL "A"
THE WEST 375 FEET OF LOT 15 OF SUPERVISOR GLASGOW'S ADDITION TO THE CITY OF HASTINGS, AS RECORDED IN LIBER 3 OF PLATS ON PAGE 3, BEING PART OF THE NORTHWEST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 WEST, BARRY COUNTY, MICHIGAN. SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITY PURPOSES OVER THE NORTHERLY 35 FEET THEREOF AND ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORD.
SUBJECT TO AN EASEMENT FOR RETENTION POND PURPOSES OVER SOUTHERLY 50 FEET OF THE NORTHERLY 85 FEET OF THE EASTERLY 107 FEET OF THE WEST 375 FEET OF LOT 15 OF SUPERVISOR GLASGOW'S ADDITION TO THE CITY OF HASTINGS, BARRY COUNTY, RECORDS.

REMNANT PARCEL: PARCEL "B"
LOT 15 OF SUPERVISOR GLASGOW'S ADDITION TO THE CITY OF HASTINGS, AS RECORDED IN LIBER 3 OF PLATS ON PAGE 3, EXCEPT THE WEST 375 FEET THEREOF, BEING PART OF THE NORTHWEST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 WEST, BARRY COUNTY, MICHIGAN. TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS AND UTILITY PURPOSES OVER THE NORTHERLY 35 FEET OF THE WEST 375 FEET OF SAID LOT 15. SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.
TOGETHER WITH AN EASEMENT FOR RETENTION POND PURPOSES OVER THE SOUTHERLY 50 FEET OF THE NORTHERLY 85 FEET OF THE EASTERLY 107 FEET OF THE WEST 375 FEET OF LOT 15 OF SUPERVISOR GLASGOW'S ADDITION TO THE CITY OF HASTINGS, AS RECORDED IN LIBER 3 OF PLATS ON PAGE 3, BARRY COUNTY, RECORDS.



SITE INFORMATION

ZONING DISTRICT: B-6 SOUTH BUSINESS/COMMERCIAL
SITE USE: EXISTING EXCAVATING COMPANY & PROPOSED POLE BARN

DISTRICT REQ.	REQUIRED	PROPOSED
BLDG HEIGHT	35 FT. MAX.	26 FT.
FRONT YARD SETBACK	25 FT. MIN.	160 FT. ±
SIDE YARD SETBACK	10 FT. MIN.	99 FT. ±
REAR YARD SETBACK	12 FT. MIN.	46 FT. ±
PARKING	(SEE C103 FOR CALCS)	10 SPACES
BUILDING FACADE MATERIAL		POLE BARN STEEL SIDING

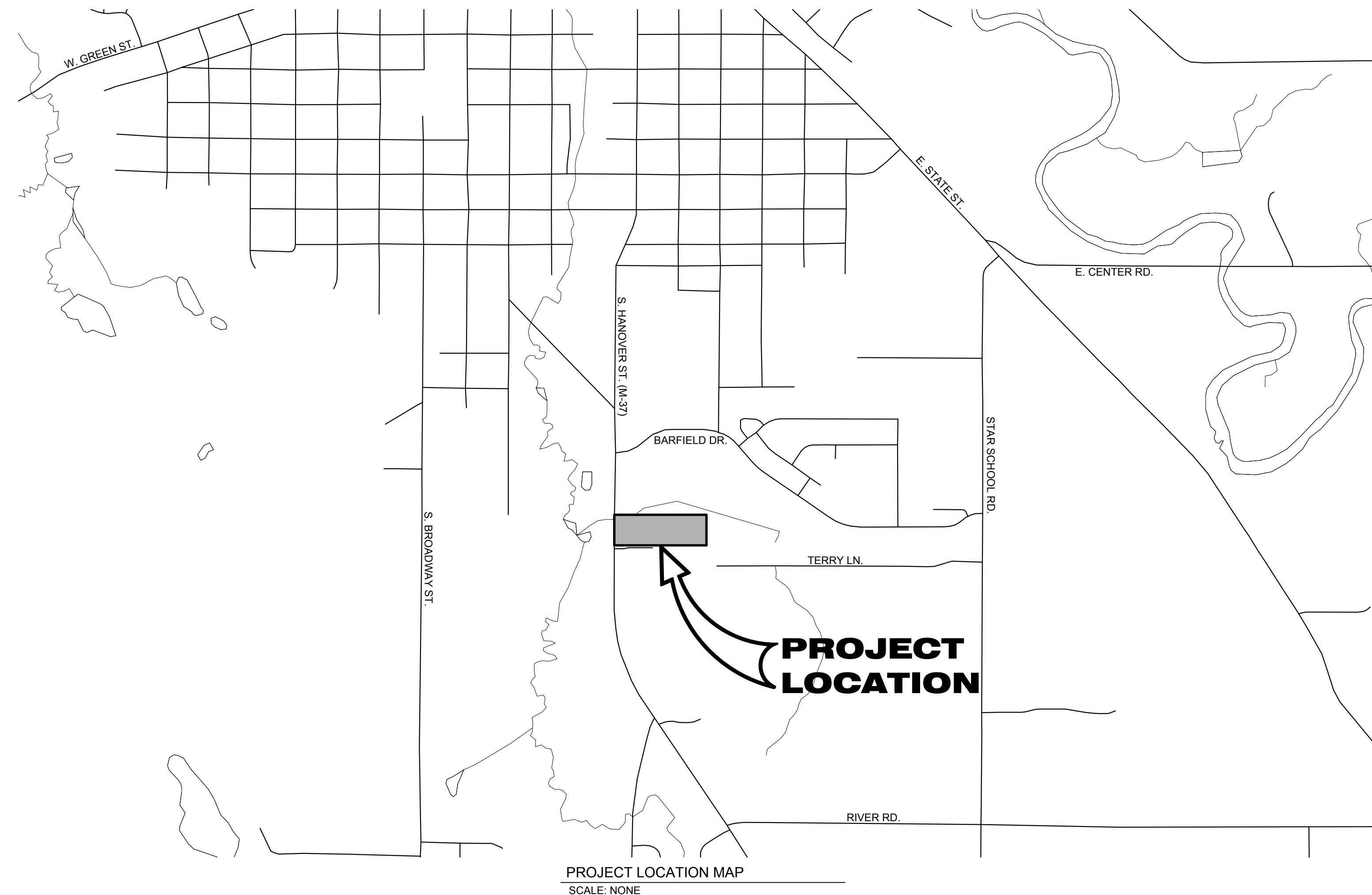
EXTERIOR LIGHTING = OVERHEAD LIGHTING IN BLDG SOFFIT, DIRECTED DOWN ONLY (11 TOTAL)

UTILITIES

"MISS DIG" 811

INDEX OF PLANS

C101	COVER SHEET
C102	EXISTING CONDITIONS
C103	PROPOSED LAYOUT
C104	PROPOSED GRADING
C105	SESC & DETAILS



PROJECT NAME:
SITE PLAN
E 1/2 1633 S. HANOVER ST.
HASTINGS, MI 49058

RUSTY BIBLE
1633 S. HANOVER ST.
HASTINGS, MI 49058

00
PRELIMINARY - NOT FOR
CONSTRUCTION

REVISIONS

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USE OF THIS DRAWING WITHOUT WRITTEN
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DATE: FEB, 2024

SCALE:

COVER SHEET

JOB No. 240156

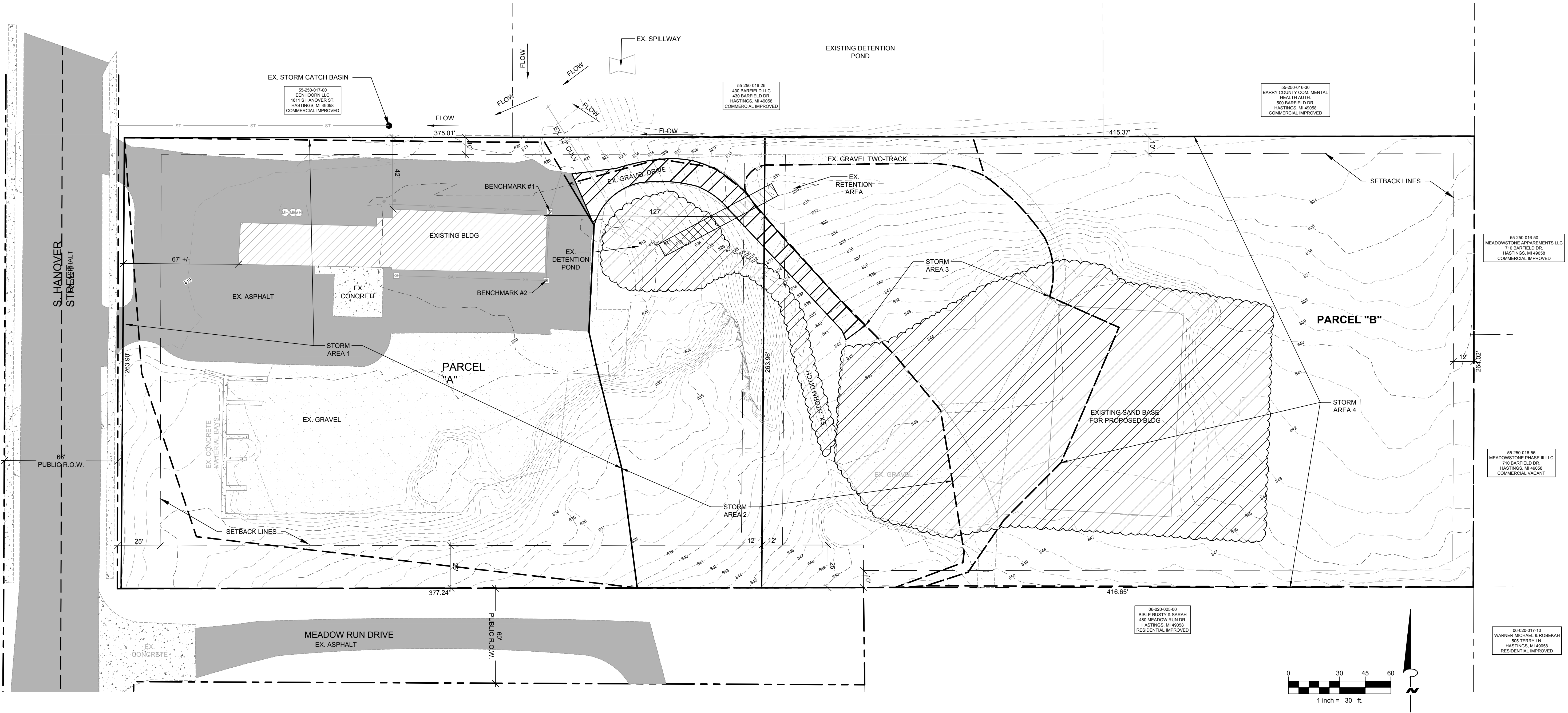
C101

BENCHMARK NO. 1:
CATCH BASIN NEAR NE
CORNER OF EX. BLDG
ELEV. = 820.45

BENCHMARK NO. 2:
CATCH BASIN NEAR SE
CORNER OF EX. BLDG
ELEV. = 820.41

PROJECT NAME:
SITE PLAN
E 1/2 1633 S. HANOVER ST.
HASTINGS, MI 49058

RUSTY BIBLE
1633 S. HANOVER ST.
HASTINGS, MI 49058



NOTES

- STORM WATER (ALL CALCULATIONS BASED OFF OF A 25-YEAR FLOOD EVENT):
- AREA 1: THE MAJORITY OF PARCEL "A" SURFACE WATER FLOWS TO THE WEST TOWARDS S HANOVER ST OR NORTH OFF OF THE PROPERTY.
EXISTING = 2.07 CFS
- AREA 2: THE EASTERN SIDE OF THE WEST PARCEL AND THE SOUTH-WESTERN SIDE OF THE PARCEL "B" SURFACE WATER FLOWS NORTH TO THE EXISTING RETENTION POND.
EXISTING = 0.573 CFS
RETENTION POND HOLDS APPROX. 1,560 CFT (REQUIRED = 2,559 CFT)
- AREA 3: THE MIDDLE OF PARCEL "B" SURFACE WATER FLOWS TO THE NORTH TO THE EXISTING RETENTION AREA.
EXISTING = 0.308 CFS
RETENTION POND HOLDS APPROX. 1,963 CFT (REQUIRED = 1,350 CFT)
- AREA 4: THE MAJORITY OF THE EASTERN HALF OF PARCEL "B" FLOWS NORTH THRU THE PROPERTY.
EXISTING = 0.745 CFS

LEGEND

00 PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS
DATE: FEB. 2024
SCALE: 1" = 30'

EXISTING CONDITIONS

BENCHMARK NO. 1:
CATCH BASIN NEAR NE
CORNER OF EX. BLDG
ELEV. = 820.45

BENCHMARK NO. 2:
CATCH BASIN NEAR SE
CORNER OF EX. BLDG
ELEV. = 820.41

PARKING NOTES

1 PARKING SPACE PER 2,000 GFA (WAREHOUSE)
PROP. WAREHOUSE = 7,630 SQ.FT.
7,630 SQ.FT. / 2,000 = 3.815 PARKING SPACES

1 PARKING SPACE PER 200 GFA (OFFICE)
PROP. OFFICE = 600 SQ.FT. EACH FLOOR (2 FLOORS) = 1,200 SQ.FT.
1,200 SQ.FT. / 200 = 6.00

TOTAL PARKING SPACES REQUIRED:
3.815 + 6.00 = 9.815 SPACES (10 SPACES - 1 VAN ACCESSIBLE)

PROP. PARKING STALLS ARE 9' X 18' (VAN ACCESSIBLE IS 11' X 18' W/ 5' ACCESS AISLE)



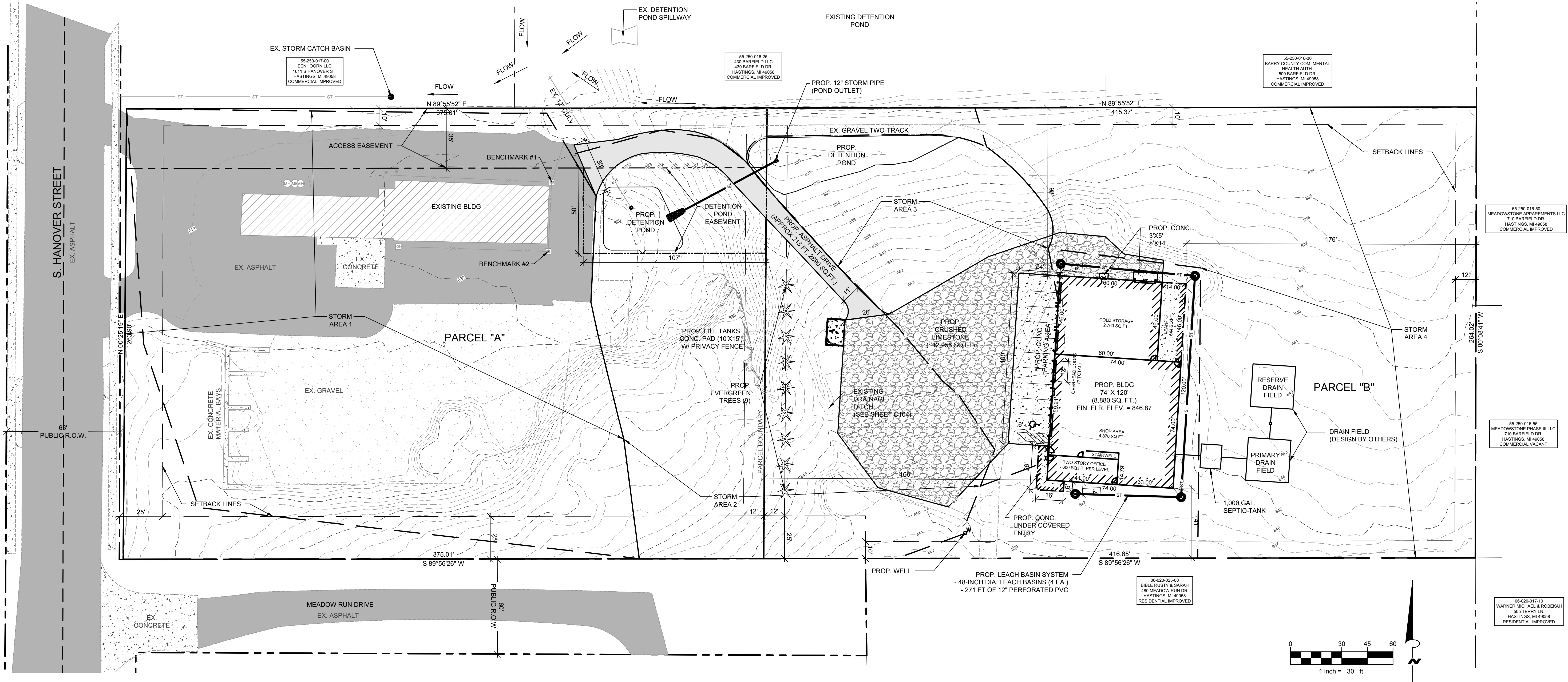
WIGHTMAN

1670 LINCOLN RD.
ALLEGAN, MI. 49010
269.673.8465

www.gowightman.com

PROJECT NAME:
SITE PLAN
E 112 1633 S. HANOVER ST.
HASTINGS, MI 49058

RUSTY BIBLE
1633 S. HANOVER ST.
HASTINGS, MI 49058



NOTES

STORM WATER (ALL CALCULATIONS BASED OFF OF A 25-YEAR FLOOD EVENT):

AREA 1: THE MAJORITY OF PARCEL "A" SURFACE WATER FLOWS TO THE WEST TOWARDS S HANOVER ST OR NORTH OFF OF THE PROPERTY.
PROPOSED = 2.07 CFS (NO CHANGES IN THIS STORM AREA)

AREA 2: THE EASTERN SIDE OF THE WEST PARCEL AND THE SOUTH-WESTERN SIDE OF THE PARCEL "B" SURFACE WATER FLOWS NORTH TO THE EXISTING RETENTION POND.
PROPOSED = 0.588 CFS
DETENTION POND HOLDS APPROX. 2,958 CFT (REQUIRED = 2,627 CFT)

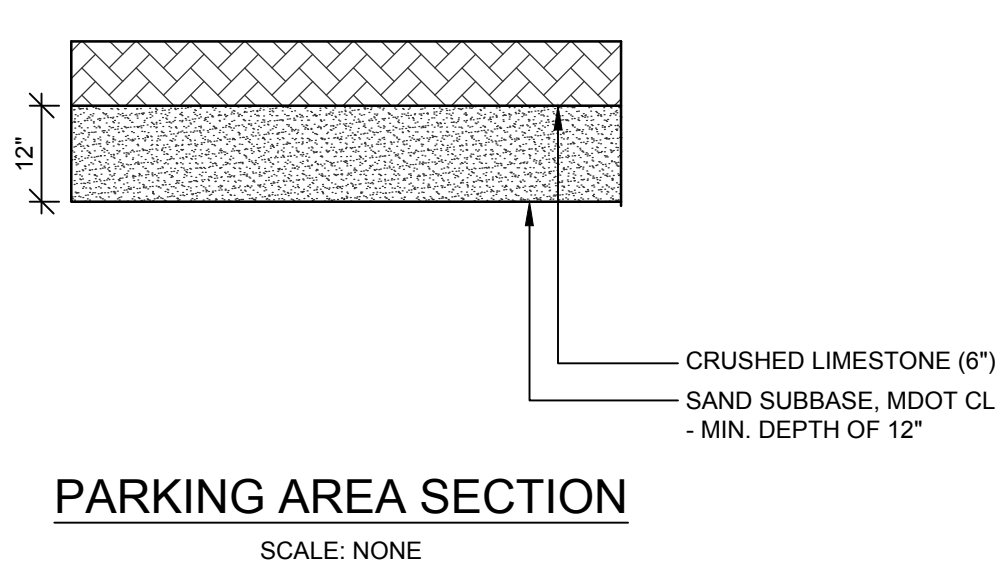
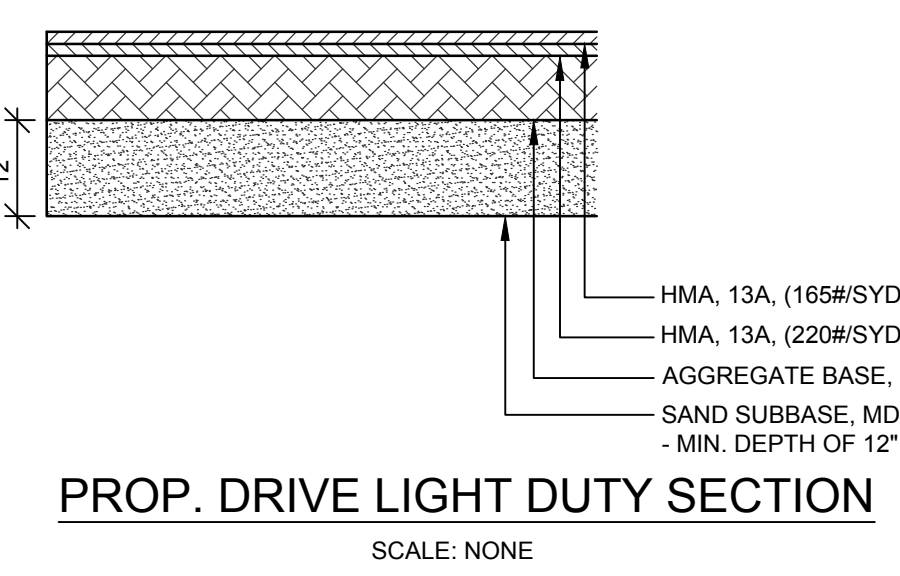
AREA 3: THE MIDDLE OF PARCEL "B" SURFACE WATER FLOWS TO THE NORTH TO THE EXISTING RETENTION AREA.
PROPOSED = 0.377 CFS
INSTALLATION OF CULVERT TO MAKE IT A DETENTION POND, NO CHANGE TO SIZE
REQUIRED VOLUME = 1,752 CFT. (EXISTING = 1,963 CFT)

AREA 4: THE MAJORITY OF THE EASTERN HALF OF PARCEL "B" FLOWS NORTH THRU THE PROPERTY.
PROPOSED = 0.462 CFS

PROPOSED BUILDING RUNOFF WILL BE MAINTAINED BY PROPOSED LEACH BASIN SYSTEM.
TOTAL RUNOFF = 0.436 CFS
PROPOSED VOLUME = 1,277 CFT (REQUIRED = 1,276 CFT)

LEGEND

EXISTING	PROPOSED		
C	C	CABLE	↑ = ANTENNA
E	E	ELECTRIC LINE	☐ = CATCH BASIN
OHE	OHE	ELECTRIC LINE (OVERHEAD)	☐ = CABLE RISER BOX
FO	FO	FIBER OPTIC LINE	☐ = CLEAN OUT
G	G	GAS LINE	☐ = CURB INLET
T	T	TELEPHONE LINE	☐ = ELECTRIC MANHOLE
FM	FM	FENCE	☐ = FIRE HYDRANT
SA	SA	FORCEMAIN	☐ = FOUND IRON PIPE
ST	ST	SANITARY SEWER	☐ = GAS VALVE
WS	WS	STORM SEWER	☐ = GUY ANCHOR
W	W	WATER MAIN	☐ = LIGHT POLE
CL	CL	CENTER LINE	☐ = MAIL BOX
---	---	EXISTING TREE LINE	☐ = MONITORING WELL
---	---	EXISTING DITCH LINE	☐ = POST
---	---	EASEMENT LINE/GRADING PERMIT	☐ = SATELLITE DISH
---	---	GRADING LIMITS/LIMITS OF DISTURBANCE	☐ = SANITARY MANHOLE
---	---	PROPERTY LINE	☐ = SECTION CORNER
---	---	RIGHT-OF-WAY LINE	☐ = SIGN
---	---	SECTION LINE	☐ = ANTENNA
---	---	TO BE ABANDONED	☐ = PAVEMENT/SOIL BORING
			☐ = PROPOSED HYDRANT
			☐ = PROPOSED GATE VALVE & BOX
			☐ = PROPOSED GATE VALVE & VAULT
			☐ = PROPOSED REDUCER
			☐ = PROPOSED SANITARY MANHOLE
			☐ = PROPOSED LEACH BASIN
			☐ = STORM MANHOLE
			☐ = TELEPHONE MANHOLE
			☐ = TELEPHONE RISER BOX
			☐ = TURNING POINT/TRaverse
			☐ = UTILITY POLE
			☐ = VAULT
			☐ = WATER ELEVATION
			☐ = WATER MANHOLE
			☐ = WATER METER
			☐ = WATER SPIGOT
			☐ = WELL
			☐ = PROPOSED EXTERIOR LIGHT FIXTURE (IN SOFFIT, POINTED DOWN ONLY)
			☐ = PROP. IRON BOLLARD



00 PRELIMINARY - NOT FOR CONSTRUCTION

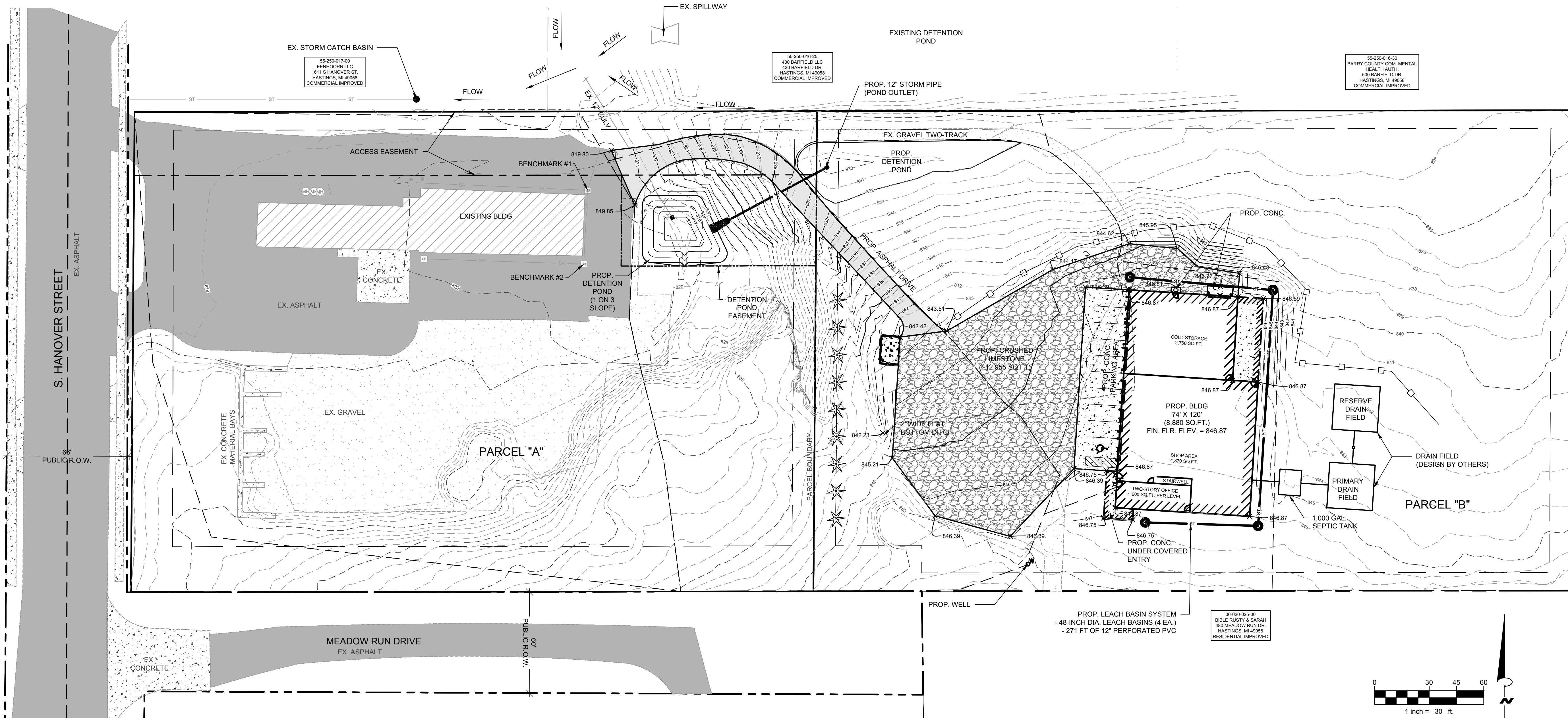
REVISIONS

DATE: FEB. 2024
SCALE: 1" = 30'

PROPOSED LAYOUT

JOB No. 240156
C103
OF 5

BENCHMARK NO. 1: CATCH BASIN NEAR NE CORNER OF EX. BLDG ELEV. = 820.45	BENCHMARK NO. 2: CATCH BASIN NEAR SE CORNER OF EX. BLDG ELEV. = 820.41
---	---



PROJECT NAME:
SITE PLAN
E 1/2 1633 S. HANOVER ST.
HASTINGS, MI 49058

RUSTY BIBLE
1633 S. HANOVER ST.
HASTINGS, MI 49058

GRADING NOTES

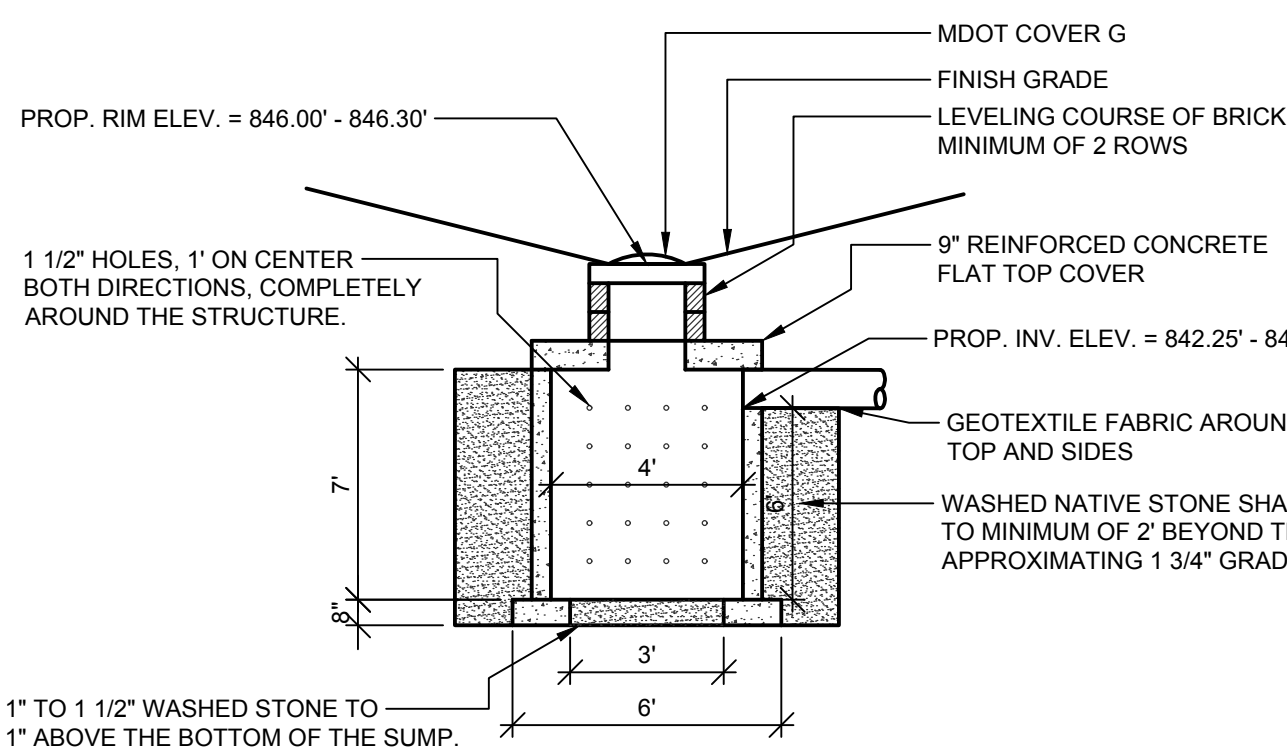
- ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- ALL EARTHEN SLOPES SHALL NOT BE STEEPER THAN 1 (VERTICAL) ON 3 (HORIZONTAL) UNLESS OTHERWISE NOTED.
- THE MAXIMUM RUNNING SLOPE FOR ALL SIDEWALK SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2%.
- THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED.

GRADING LEGEND

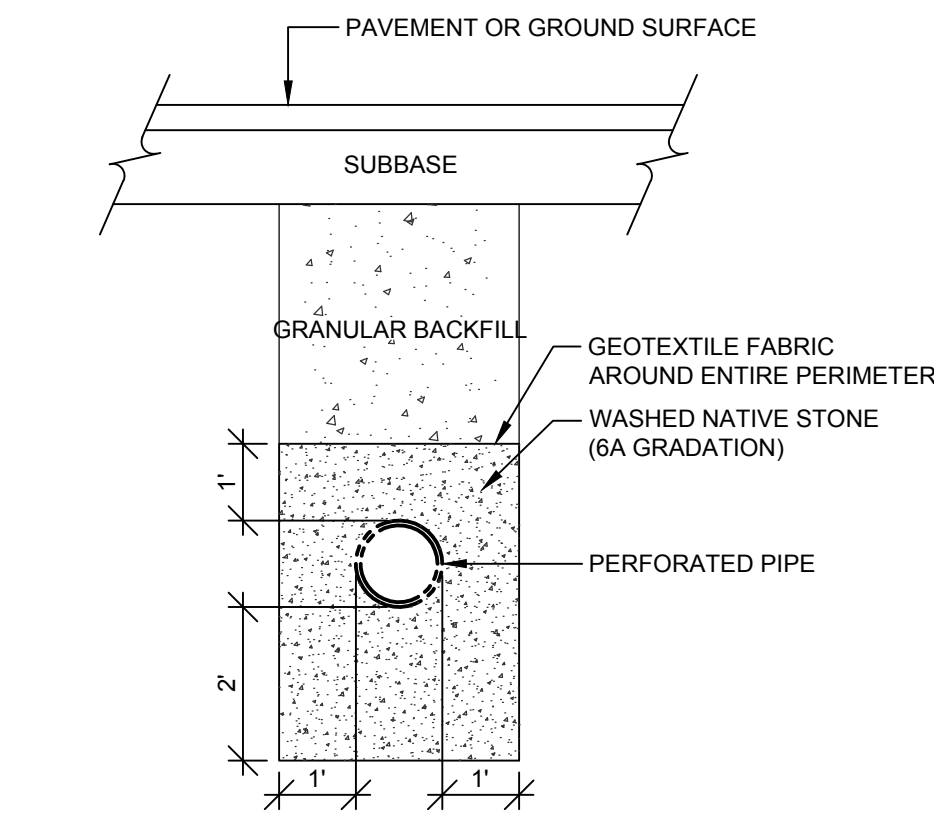
TC = TOP OF CURB	FG = FINISH GRADE
ME = MATCH ELEVATION	FL = FLOW LINE
R = RIM ELEVATION	TP = TOP OF PAVEMENT
FF = FINISH FLOOR ELEVATION	TW = TOP OF WALL
---XXX---	EXISTING CONTOUR
---XXX---	PROPOSED CONTOUR
---□---	SILT FENCE
---	CONSTRUCTION LIMITS
SEEDING W/FIBER BLANKET NORTH AMERICAN GREEN S150BN	

LEGEND

EXISTING	PROPOSED		
C	C	CABLE	ANTENNA
E	E	ELECTRIC LINE	CATCH BASIN
OHE	OHE	ELECTRIC LINE (OVERHEAD)	CABLE RISER BOX
FO	FO	FIBER OPTIC LINE	CLEAN OUT
G	G	GAS LINE	CURB INLET
T	T	TELEPHONE LINE	ELECTRIC MANHOLE
F	F	FENCE	FIRE HYDRANT
FM	FM	FORCEMAIN	FOUND IRON PIPE
SA	SA	GUARDRAIL	GAS VALVE
ST	ST	SANITARY SEWER	GLY ANCHOR
W	W	STORM SEWER	LIGHT POLE
W	W	WATER MAIN	MAILBOX
---	---	CENTER LINE	MONITORING WELL
---	---	EXISTING TREE LINE	POST
---	---	EXISTING DITCH LINE	SATELLITE DISH
---	---	EASEMENT LINE/GRADING PERMIT	SANITARY MANHOLE
---	---	GRADING LIMITS/LIMITS OF DISTURBANCE	SECTION CORNER
---	---	PROPERTY LINE	SIGN
---	---	RIGHT-OF-WAY LINE	
---	---	SECTION LINE	
---	---	TO BE ABANDONED	



LEACHING BASIN DETAIL
SCALE: NONE



PERFORATED STORM SEWER TRENCH DETAIL
SCALE: NONE

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REVISIONS

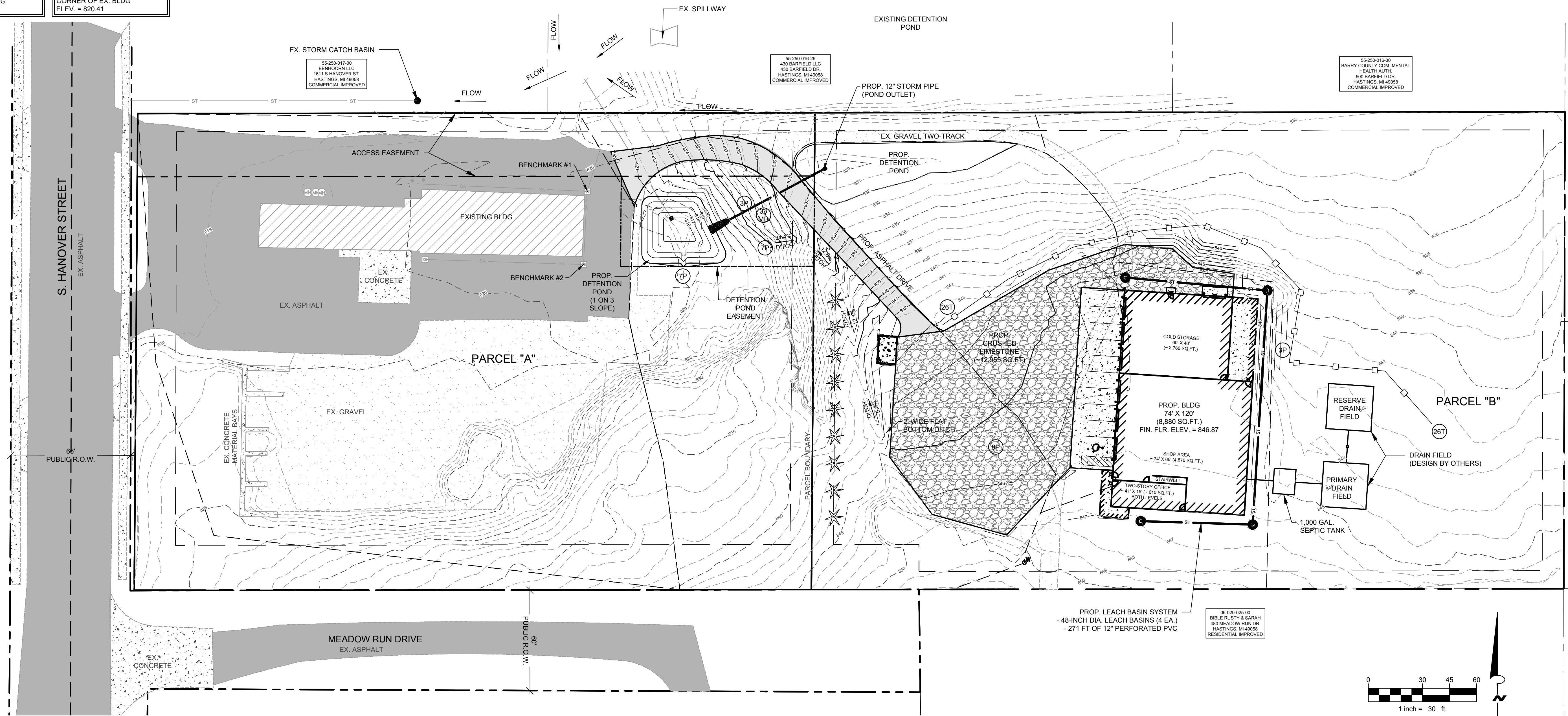
DATE: FEB. 2024

SCALE: 1" = 30'

PROPOSED GRADING

BENCHMARK NO. 1:
CATCH BASIN NEAR NE
CORNER OF EX. BLDG
ELEV. = 820.45

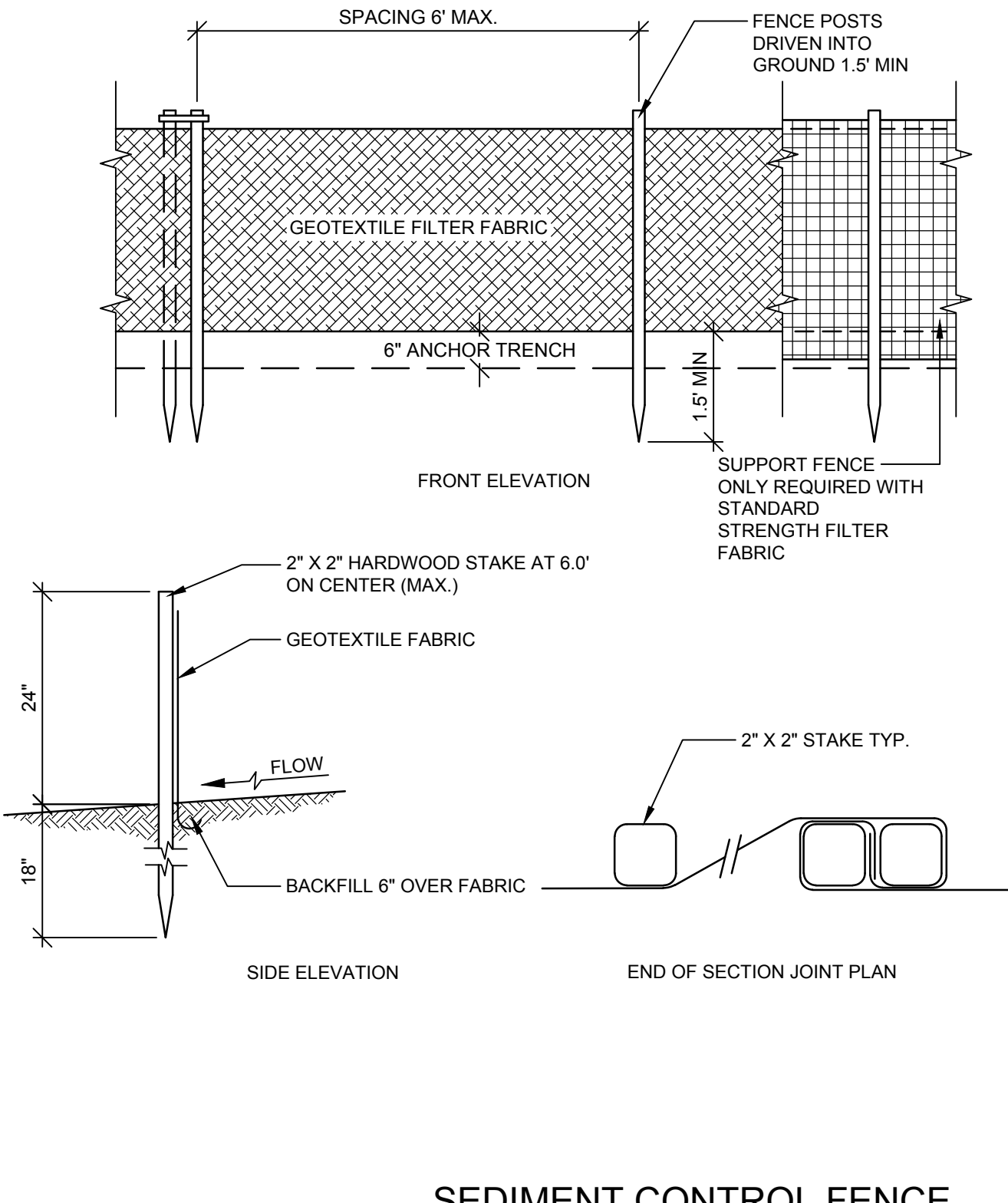
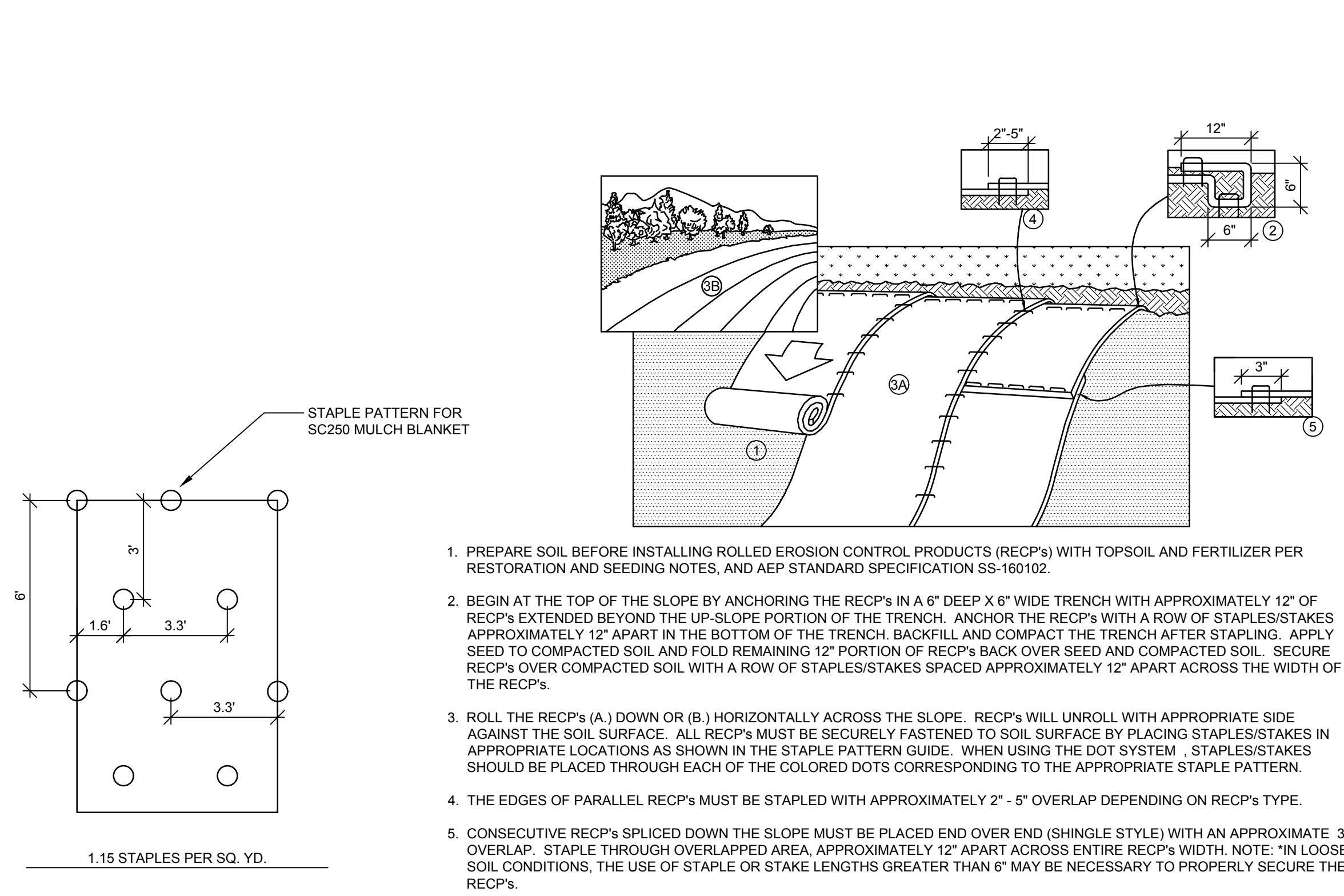
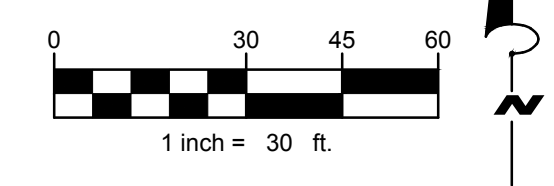
BENCHMARK NO. 2:
CATCH BASIN NEAR SE
CORNER OF EX. BLDG
ELEV. = 820.41



W+
WIGHTMAN
1670 LINCOLN RD.
ALLEGAN, MI. 49010
269.673.8465
www.gowightman.com

PROJECT NAME:
SITE PLAN
E 112 1633 S. HANOVER ST.
HASTINGS, MI 49058

RUSTY BIBLE
1633 S. HANOVER ST.
HASTINGS, MI 49058



- SILT FENCE NOTES**
1. THE HEIGHT OF SILT FENCE SHALL NOT EXCEED 36 INCHES ABOVE GROUND.
 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES.
 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH.
 7. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 8. WHEN EXTRA STRENGTH FILTER FABRIC IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
 9. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
 10. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
 11. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 12. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 13. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

- SOIL EROSION & SEDIMENTATION CONTROL NOTES**
1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
- NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96 SERIES, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.
- (3P) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING MIXTURE TYP APPLIED AT A RATE OF 176 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
 - (7P) DENOTES RIPRAP, PLAIN. INSTALL RIPRAP, PLAIN AS DIRECTED BY THE ENGINEER IN THE FIELD. THE RIPRAP, PLAIN PAY ITEM SHALL INCLUDE A GEOTEXTILE UNDERLAYMENT.
 - (8P) DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION
 - (26T) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
 - (3S) DENOTES MULCH BLANKETS. MULCH BLANKET SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS, AT SLOPES GREATER THAN 1:3. AREAS WITH CONCENTRATED FLOWS, AND AS DIRECTED BY THE ENGINEER IN THE FIELD, TO PREVENT RUNOFF AND EROSION.

00 PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

DATE: FEB. 2024
SCALE: 1" = 30'

SESC & DETAILS

JOB No. 240156
C105
OF 5

Rusty Bible Site
Site Plan Submittal to the City of Hastings
Director of Public Services Review

Date: March 1, 2024

Review Comments:

- Sheet C101 Notes, shall mention City of Hastings Standards Construction Specifications.
- Label on plan view Rim Elevations, Invert Elevations and Pipe Slope for storm sewer, drainage structures, pond outlets and outlet pipes.
- Provide Cross-Section of Concrete Parking Area and Concrete Sidewalk.
- Provide detail for both Pond Outlets.
- Provide label of drainage areas "area" in acres.
- Provide Rational Method calculations.
- Provide infiltration rates and outlet control rate for detention ponds.

City of Hastings
Planning Commission
Work Tasks for 2024
STATUS REPORT FOR MARCH 2024

1. Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width. Hold until after December 2023 Planning Commission meeting.
2. Review Sec. 90-973 Signs in the B-1, B-2, B-3, B-4, and B-6 districts (as related to portable sidewalk ground signs). Review temporary sign ordinance text amendment to incorporate “sandwich” boards. Recommend text amendment review January 2024.
3. Review Article 90-XII Landscaping Section 90-1010 for permitted trees that are an invasive species. Recommend text amendment review January 2024.
4. Review Section 90-883 (b)(4) pertaining to the maximum driveway width serving a single-family or two-family dwelling. Review 1st quarter of 2024.
5. Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan.
Planning Consultant Harvey to provide recommendation.
6. Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2024.
7. Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
8. Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
9. Review landscape buffer requirements between multiple family zoned lots and the B-1 district for waste of developable space. Master Plan action item.
10. Review Article 90-VII Planned Unit Development for complete amendment consideration.

11. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements. **Refer to Housing Committee for discussion.**
12. Review text regarding multi-family dwellings for possible modification. Master Plan action item. **Refer to Housing Committee for discussion.**
13. Review Section 90-423 requiring multiple family developments to be reviewed as special uses. Master Plan action item. **Refer to Housing Committee for discussion.**
14. Review Section 90-427(b)(1) regarding conversion of single-family structure to multifamily use approval requirements. Master Plan action item. **Refer to Housing Committee for discussion.**
15. Review single-family uses permitted by right in multiple family districts. Master Plan action item. **Refer to Housing Committee for discussion.**

Site Plan Tracker

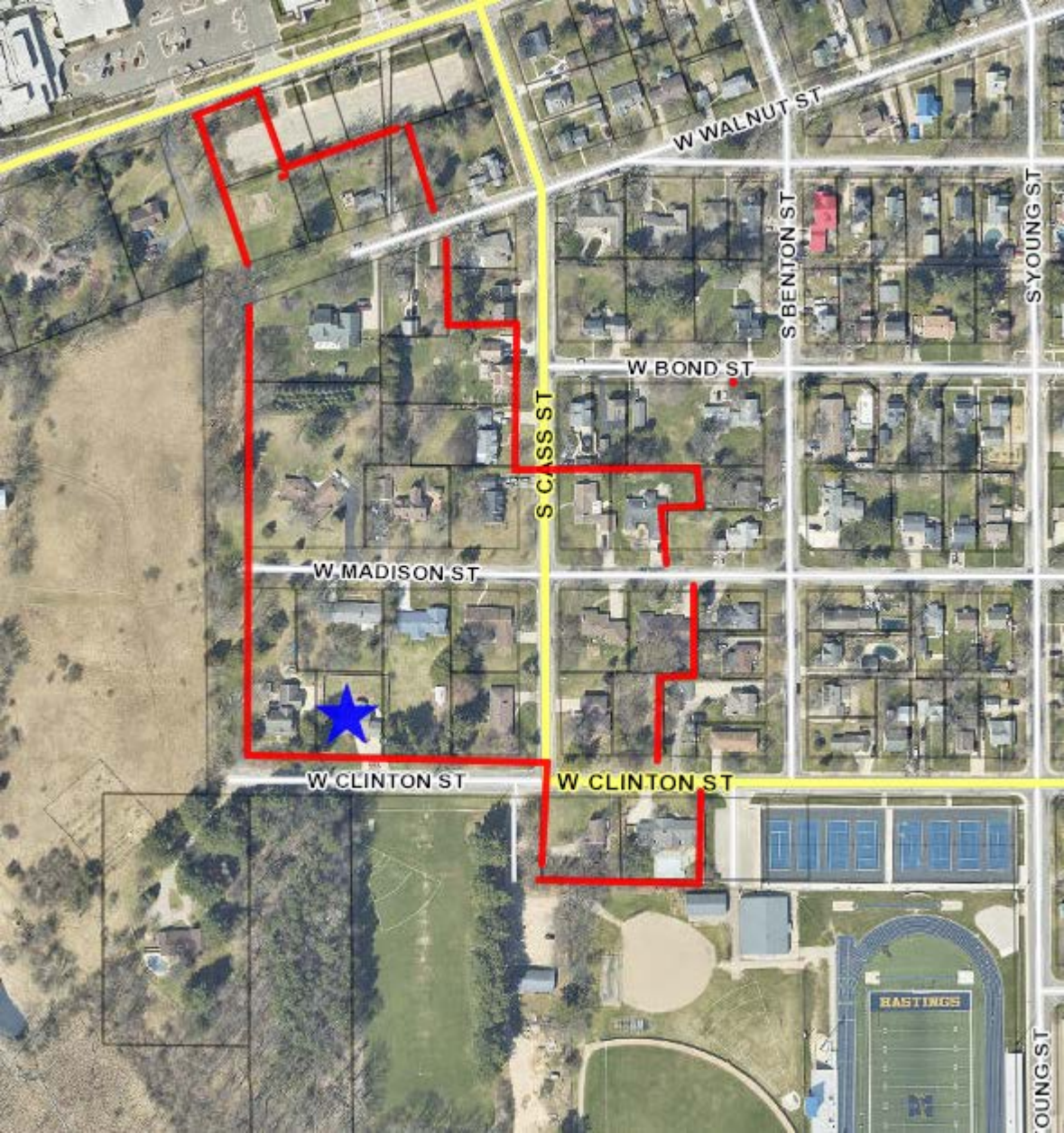
Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowstone Mobile Home Park 1812 Lavender Drive	1.14.20	1.14.20	2.3.20	Approved	PED X Insulation from roadway Natural feature buffer	
EWB Properties, LLC 400 and 410 W. State Street	2.7.20	2.7.20	3.2.20	Approved	Stormwater runoff compliance	
Meadowstone Mobile Home Park 1812 Lavender Drive	1.13.22	1.13.22	5.2.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
EWB 400 W. State Street	7.14.21	7.14.21	6.6.22	Approved	Monument sign on State - Removal Illumination must meet standards	
City of Hastings Parking Lot 8	8.19.22	NA	NA	Administrative	Fencing details Parking space width compliance Canopy tree type compliance	
City of Hastings Parking Lot 8	8.19.22	NA	NA	Administrative	Fencing details Parking space width compliance Canopy tree type compliance	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Serenity Village 700 East Woodlawn	9.28.22	9.28.22	11.7.22	Approved	Landscaping Off Street Loading Ped. Access from sidewalk PC extends approval to 11-7-2024	
Tyden Lofts 326 W. State Street	10.17.22	10.17.22	11.7.22 12.5.22	12.5.22	Signage approved via permit Engineering approved by Director Tate	
Whitewater Car Wash 1105 W. State Street	12.21.22	1.11.23	2.6.23	2.6.23	Landscaping per PC Minutes 2.6.23	
City of Hastings and Barry County Central Dispatch 1037 East State Street	NA	3.27.23	5.1.23	5.1.23	Administrative approval of performance standards. Waiver of side setback requirement	
420 E Mill Street PUD 328 and 420 E Mill Street	5.30.23	5.31.23	7.3.23	7.3.23	City Council approval 24.5 units/acre 40 ft building height 5 feet front setback 30 ft building separation Delineation of phased development Lighting, landscaping, building exterior to be approved administratively. Acceptance of parking lot/100 yr FP DPS and Fire approval.	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plans and prints to staff	PC Agenda Date	PC Decision	Conditions for Completion	COI
Meadowstone Apartments III 710 Barfield Drive	6.12.23	6.12.23	8.7.23	8.7.23	Exterior finish subject to administrative approval. Utility and storm management subject to approval by DPS Director	
Chris Nelson N6 Towing	12.7.23	12.7.23	1.2.24	1.2.24	Stormwater review	



W WALNUT ST

S BENTON ST

S YOUNG ST

W BOND ST

S CASS ST

W MADISON ST

W CLINTON ST

W CLINTON ST

EASTINGS

OUNG ST