

HASTINGS PLANNING COMMISSION

A G E N D A

Monday November 3, 2025

1. **Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
2. **Pledge of Allegiance**
3. **Approval / additions / deletions to agenda**
4. **Approval of Minutes** October 6, 2025, Draft Meeting Minutes of the Planning Commission Workshop and October 6, 2025 Draft Meeting Minutes of the Planning Commission Regular Meeting. *
5. **Informative Items:** None
6. **Public Hearings:**
 - A. Public hearing to review and consider a Special Use Permit and Site Plan Review for St. Rose of Lima Church to construct an administration building and off-street parking lots at 707 and 805 S. Jefferson Street. *
7. **New Business:**
 - A. Review Preliminary Planned Unit Development Plan for North Ridge Estates Condominiums.*
 - B. Administrative Site Plan Approval for AT&T/Mastec Network Solutions at 107 W. Blair Street. *
 - C. Administrative Site Plan Approval for Dean Arnold at 1435 South Hanover. *
8. **Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2025 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
9. **Open Public Discussion and Comments**
10. **Staff Comments**
11. **Commissioner Comments**
12. **Adjourn**

*Indicates attachment

CITY OF HASTINGS
PLANNING COMMISSION SPECIAL MEETING MINUTES
October 6, 2025

The meeting was called to order at 6:00 p.m. by Chairperson Hatfield with the following Commissioners present: Levi Bolthouse, Scott Darling, Chelsey Foster, David Hatfield, Nichole Lyke, Bill Mattson, Jacquie McLean, Sarah Moyer-Cale, and Dave Tossava.
Absent: Ansorge.

Call to Order

Also present: Planning Consultant Rebecca Harvey and Community Development Director Dan King.

It was MOVED by Mattson and SECONDED by Foster to approve the agenda as presented. All members present voting yes; motion carried.

**Approval of the
Agenda**

Harvey presented information regarding land division and site condominium regulations. Discussion was held.

**Land Division
Discussion**

No public comment was received.

Public Comment

It was MOVED by McLean and SECONDED by Lyke to adjourn the meeting. All members present voting yes; motion carried. The meeting was adjourned at 6:46 p.m.

Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

CITY OF HASTINGS
PLANNING COMMISSION MEETING MINUTES
October 6, 2025

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: Levi Bolthouse, Scott Darling, Chelsey Foster, David Hatfield, Nichole Lyke, Bill Mattson, Jacquie McLean, Sarah Moyer-Cale, and Dave Tossava. Student member Meredith Ansorge was also present. Absent: none.

Call to Order

Also present: Planning Consultant Rebecca Harvey and Community Development Director/Zoning Administrator Dan King.

It was MOVED by McLean and SECONDED by Mattson to approve the agenda as presented. All members present voting yes; motion carried.

Approval of the Agenda

It was MOVED by McLean and SECONDED by Lyke that the proposed minutes of the Regular Meeting of September 2, 2025 and the minutes of the Special Meeting of September 26, 2025 be approved. All members present voting yes; motion carried.

Approval of the Minutes

None.

Informative Items

Harvey presented information about the proposed text amendment. The hearing was open for public comment at 7:07 p.m. No public comment was received. The hearing was closed at 7:08 p.m.

Public Hearing:
3-4 Family
Overlay District

It was MOVED by McLean and SECONDED by Tossava to recommend adoption of the ordinance to amend Chapter 90, Article 90-VI by adding Division 90-VI-18- 3 to 4 Family Overlay District to the Hastings City Council. All members present voting yes; motion carried.

New Business:
Site Plan
Approval for 148
E State St

Harvey provided comments on her written report. The applicant spoke about the project and noted there was a rear parking space and that exterior building materials had not yet been selected.

It was MOVED by McLean and SECONDED by Lyke to approve the site plan for 148 E State Street noting that the roof elevation and parking are acceptable and contingent upon meeting all city approvals (inclusive of DPS and Fire Department) and for exterior materials to be reviewed and approved by the zoning administrator. All members present voting yes; motion carried.

It was MOVED by McLean and SECONDED by Mattson to schedule a public hearing for November 3, 2025 at 7:00 p.m. to review and consider site plan and special use permit for St. Rose Church at 805 S. Jefferson Street. All members present voting yes; motion carried.

Schedule a public
hearing for
special land use

King stated that the plan for the Meadowstone Apartments was changed to accommodate a fire hydrant.

Administrative
approvals

The JPC reviewed various text amendments and will have a public hearing in November.

Old Business
JPA/JPC Update

No changes to the work task list were noted.

Work Task List

King reported that the Broadmoor Motors approval had been added to the tracker.

Tracking Terms
and Conditions

No public comment was received.

Public Comment

King stated that the city is working on a planning project for the W. State Street corridor.

Staff Comments

None.

**Commission
Comments**

It was MOVED by McLean and SECONDED by Tossava to adjourn the meeting. All members present voting yes; motion carried. The meeting was adjourned at 7:37 p.m.

Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

City of Hastings

NOTICE OF PUBLIC HEARING ON A SPECIAL USE PERMIT FOR 707 AND 805 SOUTH JEFFERSON

The Planning Commission for the City of Hastings will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public regarding the request for a Special Use Permit and Site Plan Review from St. Rose of Lima Church for construction of an administration building and off-street parking lots at 707 and 805 S. Jefferson Sreet, Hastings, Michigan 49058. The public hearing will be held at 7:00 PM on Monday November 3, 2025, in the Council Chambers, second floor of City Hall, 201 East State Street, Hastings, MI 49058. Please check the City of Hastings website at www.hastingsmi.gov or contact City Hall at 269-945-2468 for details.

All interested citizens are encouraged to attend and to submit comments.

A copy of the plans and additional background materials are available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the Community Development Director, 201 E. State Street, Hastings, MI 49058. Questions or comments can be directed to Dan King, Community Development Director at 269-945-2468 or dking@hastingsmi.gov.

The City will provide necessary reasonable aids and services upon five days' notice to the City Clerk at 269.945.2468 or TDD call relay services 800.649.3777.

Linda Perin
City Clerk

Please publish in the October 16, 2025, edition of the
Hastings Banner.

An architectural rendering of a single-story building, likely a school or community center. The building features a dark brown gabled roof and a base finished with grey stone veneer. The upper walls are clad in light-colored horizontal siding. Large, dark-framed windows are spaced along the side of the building. A central entrance is highlighted by a small overhang. The building is set on a green lawn with a paved walkway in the foreground. Several white human figures are placed around the building to provide scale. In the background, there are large, leafless trees and a clear blue sky with a few clouds. A white car is partially visible in the bottom right corner.

GENERAL	
T0001	TITLE DRAWING
G101	CODE COMPLIANCE PLAN
CIVIL	
C101	EXISTING CONDITIONS
C102	REMOVALS AND SESS PLAN
C201	SITE LAYOUT PLAN
C301	SITE GRADING AND UTILITIES
C501	SITE DETAILS
ARCHITECTURAL	
A201	EXTERIOR ELEVATIONS
ELECTRICAL	
ESP001	SITE PHOTOMETRICS PLAN

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ANCE
10/13/2025 SITE PLAN REVIEW

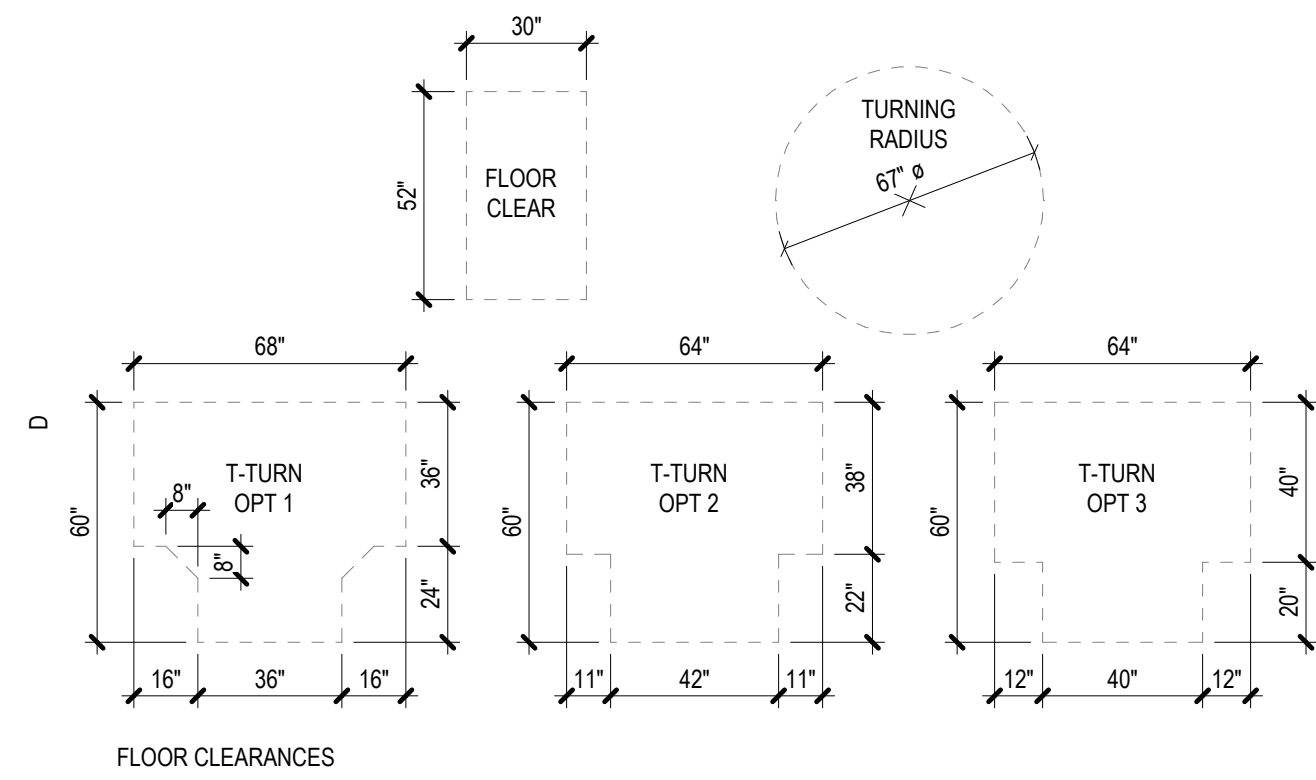
PROJECT NUMBER
0001
PROJECT MANAGER
N HOUTEN
PROFESSIONAL
N HOUTEN
OWN BY
CLAWSKI
CHECKED BY
ELLEY

TITLE DRAWING

TD001

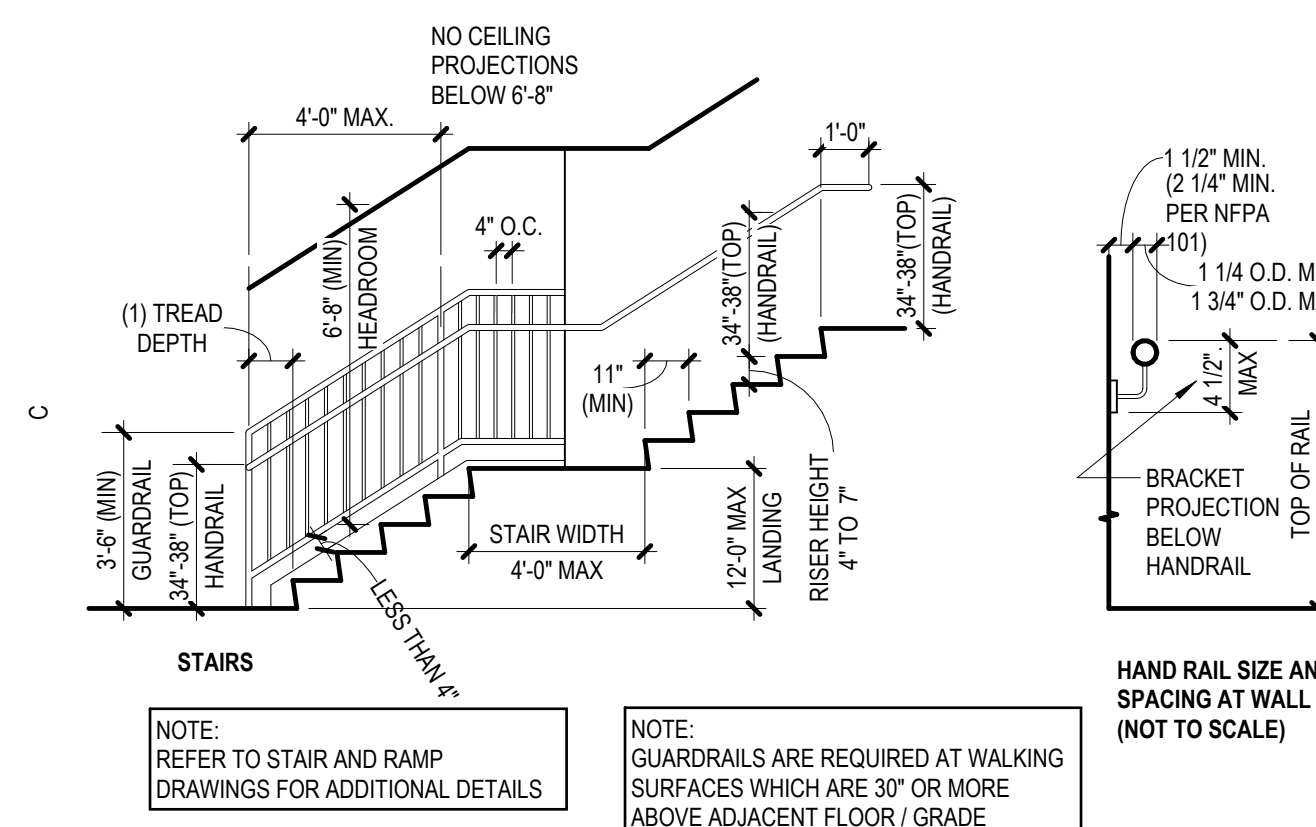
3 ACCESSIBLE CLEARANCES

NOT TO SCALE



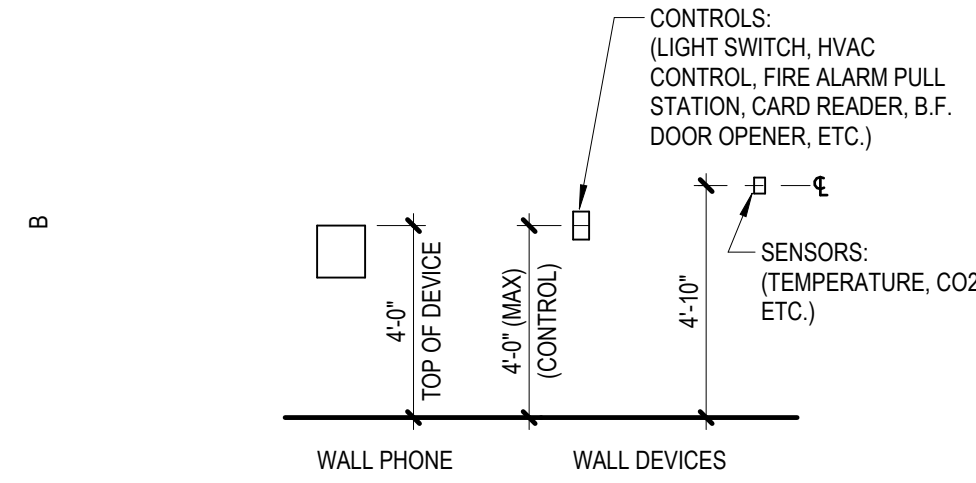
9 STAIRS AND RAMPS

NOT TO SCALE



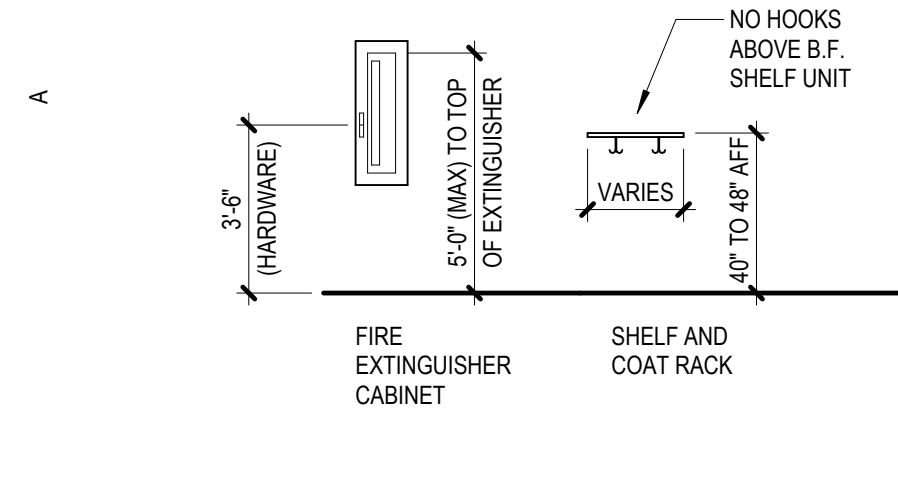
6 MISCELLANEOUS DEVICES

NOT TO SCALE



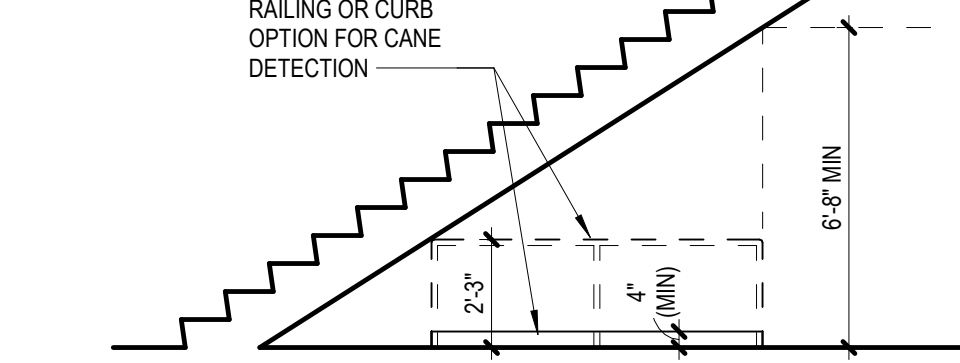
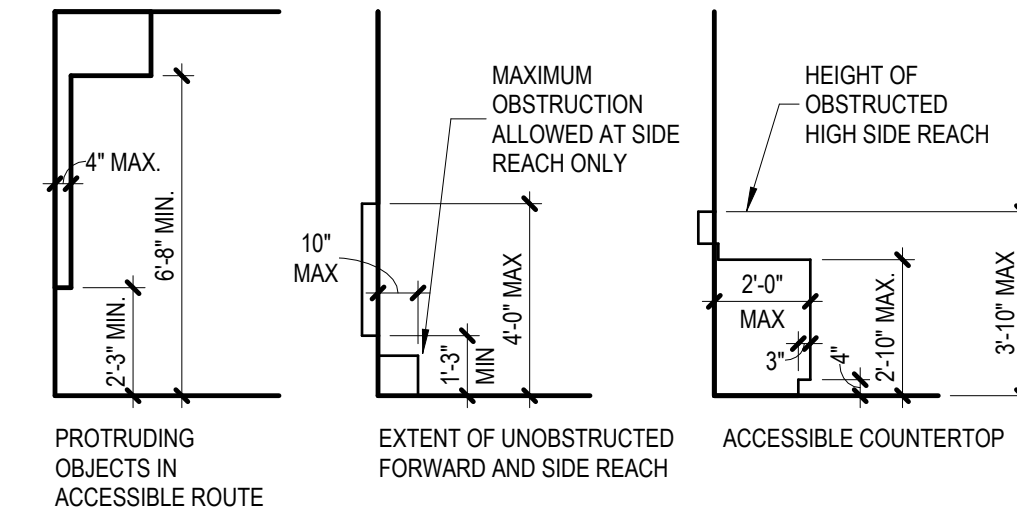
5 MISC. ACCESSORIES

NOT TO SCALE



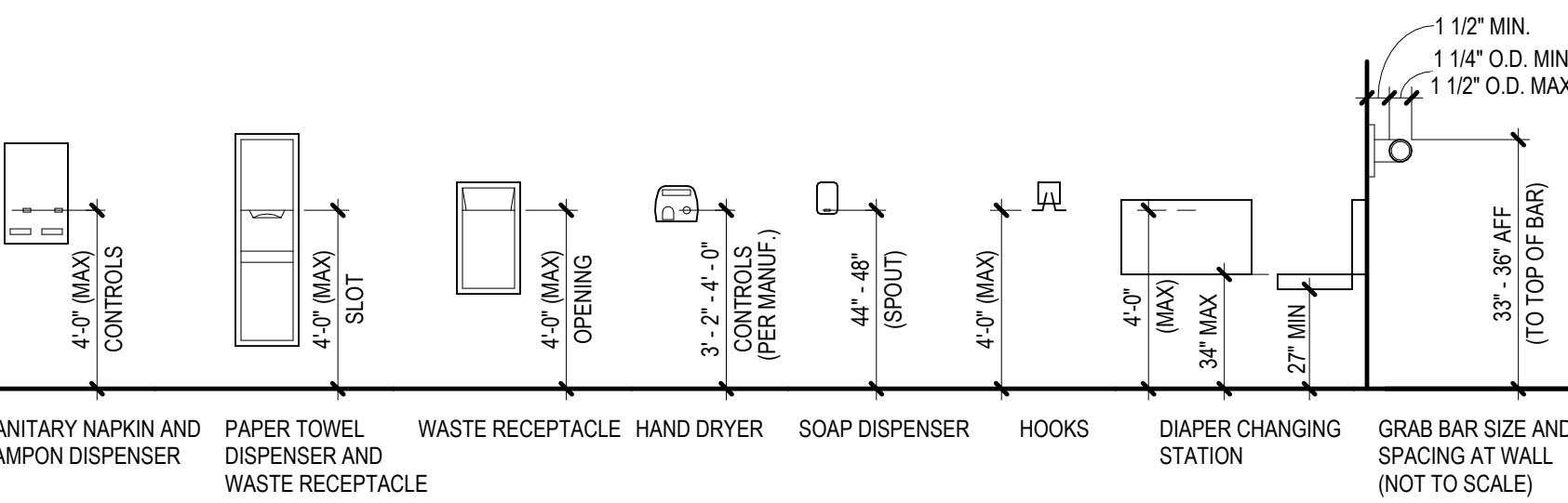
8 REDUCED VERTICAL CLEARANCE

NOT TO SCALE



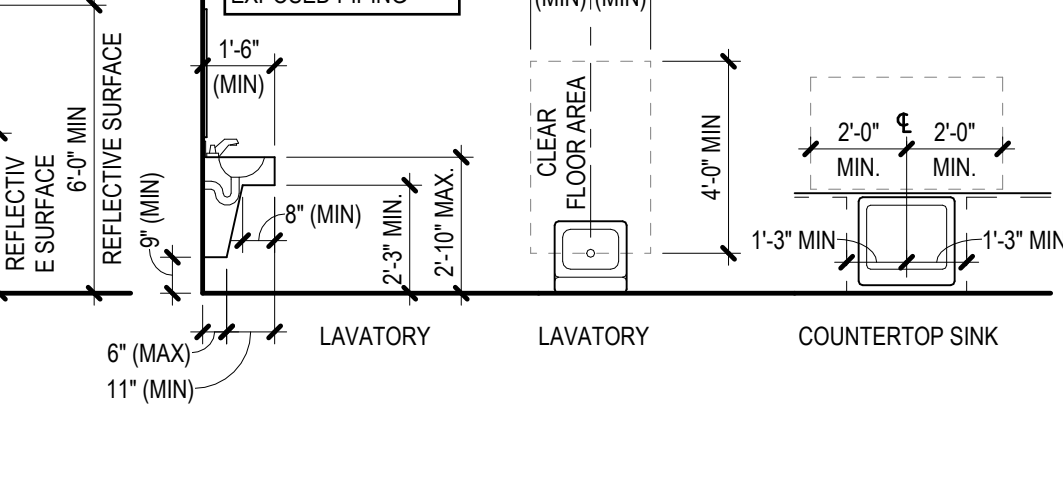
10 TOILET ROOM ACCESSORIES

NOT TO SCALE



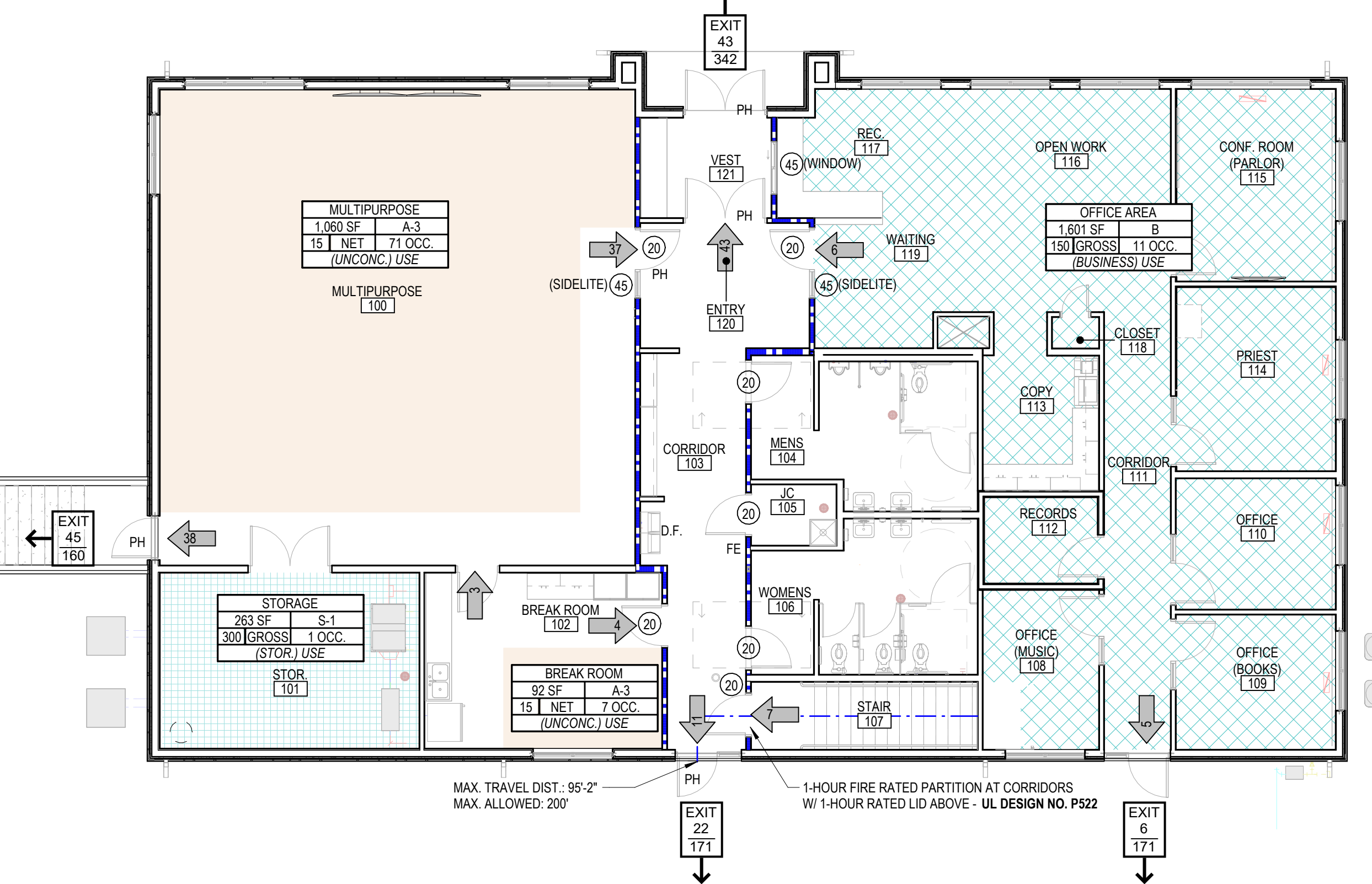
7 PLUMBING FIXTURES

NOT TO SCALE



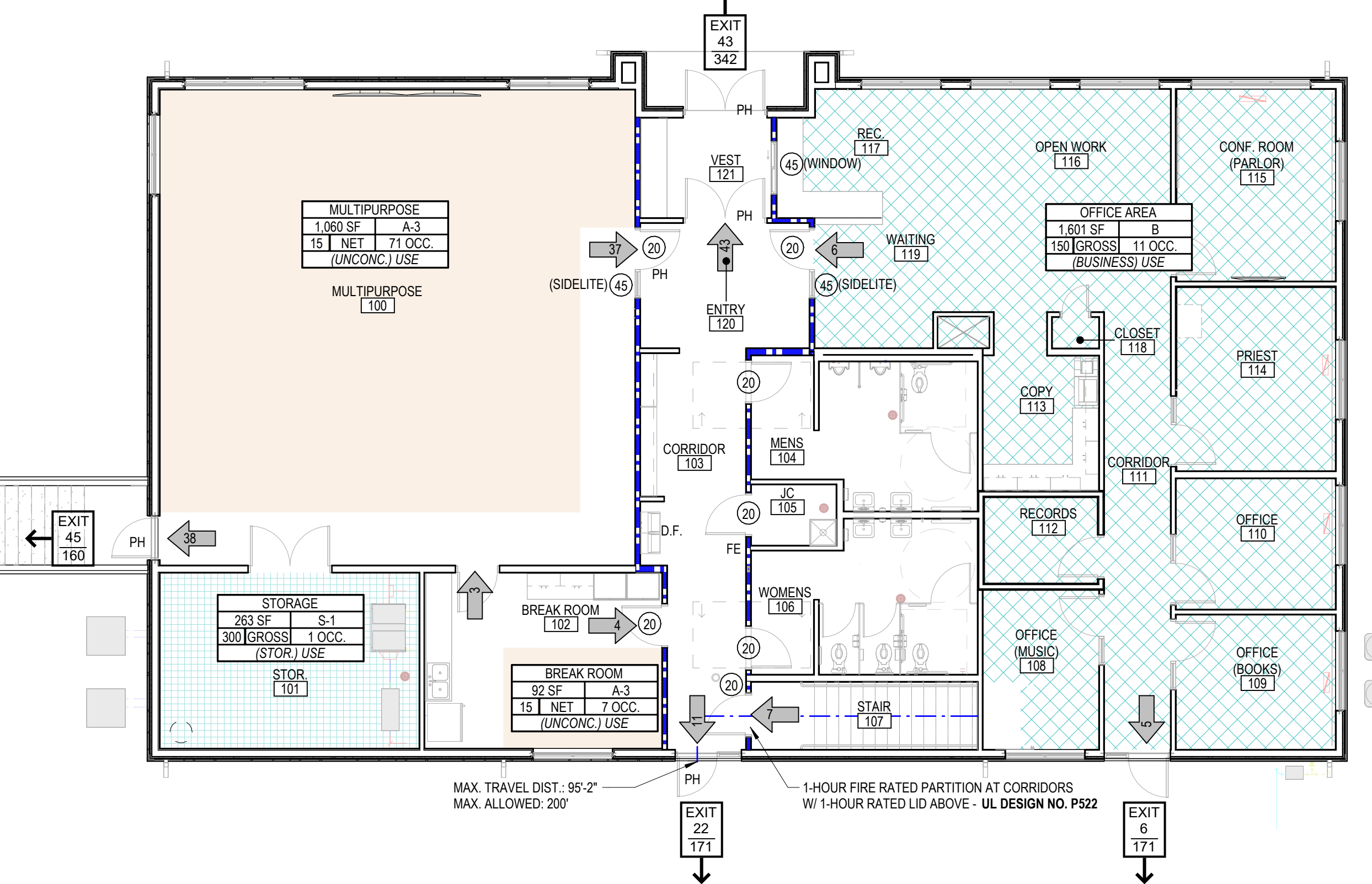
1 CODE COMPLIANCE PLAN - BASEMENT

1/8" = 1'-0"



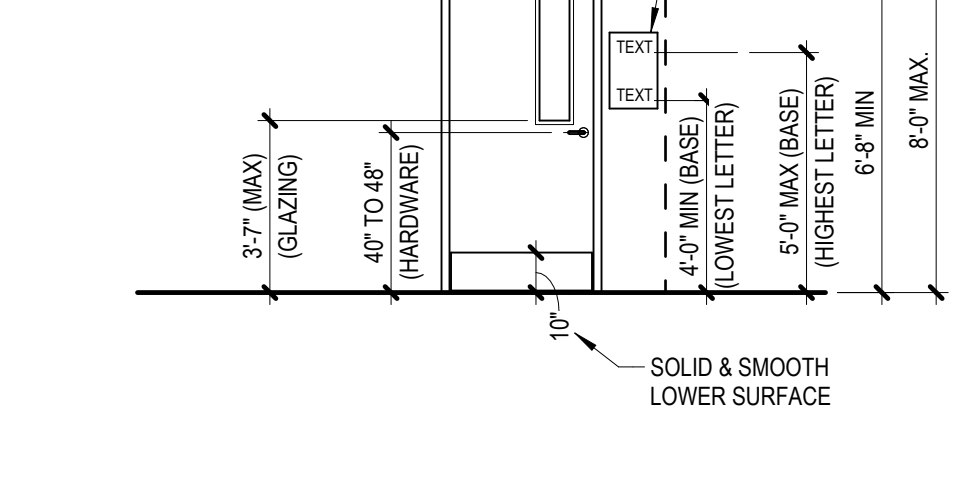
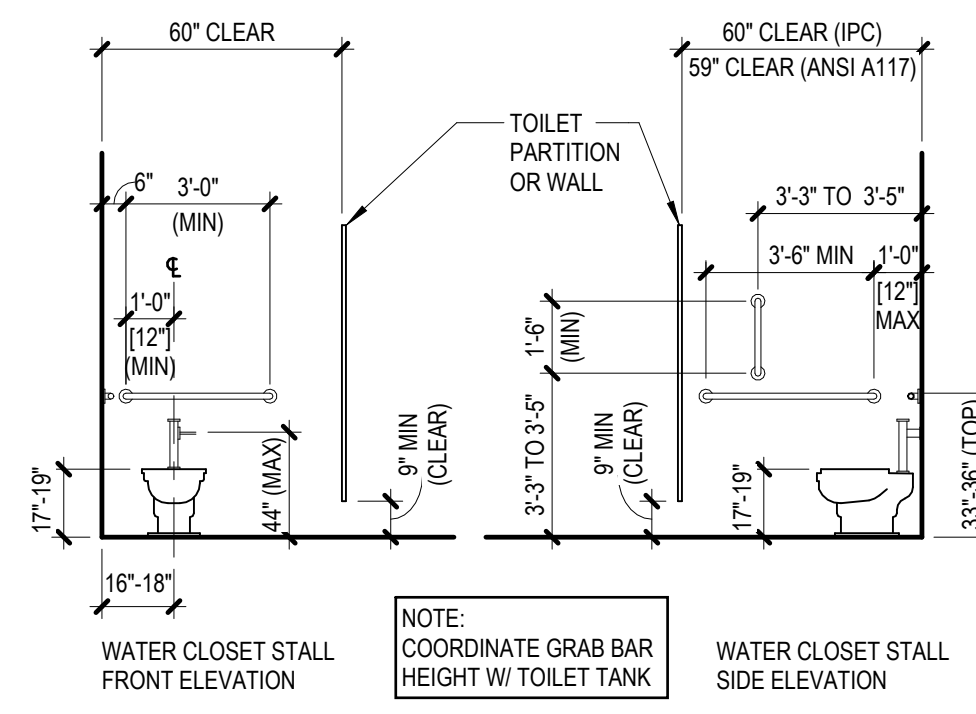
1 CODE COMPLIANCE PLAN - FIRST FLOOR

1/8" = 1'-0"



4 DOORWAY FEATURES

NOT TO SCALE



CODE SUMMARY

- APPLICABLE CODES:
 - BUILDING CODES:
 - MICHIGAN BUILDING CODE (MBC) 2021
 - MICHIGAN UNIFORM ENERGY CODE 2015
 - MICHIGAN BARRIER FREE DESIGN LAW P.A. 1 OF 1966 AND 2009 ICC/ANSI A117.1
 - MECHANICAL CODES:
 - MICHIGAN MECHANICAL CODE 2015
 - MICHIGAN PLUMBING CODE (MPC) 2018
 - ELECTRICAL CODE:
 - MICHIGAN ELECTRICAL CODE 2017 (MICHIGAN ELECTRICAL CODE PART 8 INCORPORATING NATIONAL ELECTRICAL CODE 2017)
- PROPOSED BUILDING DATA:
 - NON-SEPARATED MIXED-USE (MBC 508.3)
 - GROUP "B" BUSINESS (MBC 304.1)
 - GROUP "A-3" ASSEMBLY (MBC 303.4)
 - GROUP "S-1" STORAGE, MODERATE HAZARD (MBC 3011.2)
 - CONSTRUCTION: TYPES I&II (MBC 602.5)
 - FIRE PROTECTION FEATURES:
 - FACILITY NON-SPRINKLERED (MBC 903.3)
 - FIRE ALARM NOT REQUIRED (MBC 907.2)
 - FIRE EXTINGUISHERS REQUIRED (MBC 906.1, NO. 1)
 - BUILDING HEIGHT (BY STRICTEST REQUIREMENTS): A-3:
 - ALLOWABLE HEIGHT: 40 FEET (MBC 504.3, T-504.5)
 - ALLOWABLE STORIES: 4 ABOVE GRADE PLANE (MBC 504.4, T-504.4)
 - ACTUAL: 1 STORY
 - BUILDING AREA (BY STRICTEST REQUIREMENTS): A-3:
 - ALLOWABLE: 10,500 SF
 - FRONTAGE INCREASE: 6,000 SF x 0.75 = 4,500 (MBC 506.3)
 - ACTUAL AREA: 4,407 SF
 - MIN. TYPE I&II CONSTRUCTION REQUIREMENTS (MBC T-601 & T-705.5):
 - PRIMARY STRUCTURAL FRAME: 0-HR.
 - EXTERIOR BEARING WALLS: 0-HR.
 - INTERIOR BEARING WALLS: 0-HR.
 - EXTERIOR NON-BEARING WALLS: 0-HR.
 - INTERIOR NON-BEARING WALLS: 0-HR.
 - FLOOR CONSTRUCTION: 0-HR.
 - ROOF CONSTRUCTION: 0-HR.
- ADDITIONAL CONSTRUCTION REQUIREMENTS:
 - INTERIOR EXIT STAIRWAYS: 0-HR. (MBC 1019.3 NO.1)
 - CORRIDORS: 1-HR. (MBC T-1020.2)
 - CORRIDOR OPENING PROTECTIVES: 13-HR. (MBC T-716.1(2))
- OCCUPANT LOAD FOR EGRESS PURPOSES (MBC T-1004.5):
 - REFER TO CODE COMPLIANCE PLANS/LEGEND THIS SHEET
- MEANS OF EGRESS REQUIREMENTS:
 - A-3 ASSEMBLY OCCUPANCY:
 - MAX TRAVEL DISTANCE: 200 FT. (MBC T-1017.2)
 - MAX COMMON PATH OF TRAVEL: 75 FT. (MBC T-1006.2.1)
 - B BUSINESS OCCUPANCY:
 - MAX TRAVEL DISTANCE: 200 FT. (MBC T-1017.2)
 - MAX COMMON PATH OF TRAVEL:
 - OCCUPANT LOAD ≤ 30: 100 FT. (MBC T-1006.2.1)
 - OCCUPANT LOAD > 30: 75 FT. (MBC T-1006.2.1)
 - S-1 STORAGE, MODERATE HAZARD OCCUPANCY:
 - MAX TRAVEL DISTANCE: 200 FT. (MBC T-1017.2)
 - MAX COMMON PATH OF TRAVEL:
 - OCCUPANT LOAD ≤ 30: 100 FT. (MBC T-1006.2.1)
 - OCCUPANT LOAD > 30: 75 FT. (MBC T-1006.2.1)
 - EGRESS: WIDTH (PER OCCUPANT):
 - STAIR: 0.3' (MBC 1005.3.1)
 - OTHER COMPONENTS - DOORS: 0.2' (MBC 1005.3.2)
 - MIN. STAIR WIDTH: 48" (MBC 1005.3.2)
 - MIN. CORRIDOR WIDTHS: 44" (MBC T-1020.3)
 - MAX. DEAD END CORRIDOR: 20 FT. (MBC 1020.5)
 - REMOVEMENT OF EXITS: 10' DIAGONAL (MBC 1007.1.1)
 - PLUMBING FIXTURE REQUIREMENTS (MPC T-403.1):
 - PLUMBING FIXTURES:
 - 125 FOR FIRST 50, REMAINDER 1/50
 - REQUIRED: 2 MALE / 2 FEMALE
 - PROVIDED: 3 MALE / 3 FEMALE
 - LAV.:
 - REQUIRED: 2 MALE / 2 FEMALE
 - PROVIDED: 3 MALE / 3 FEMALE
 - ENCL.:
 - REQUIRED: 1/100
 - PROVIDED: 2 (1 HIGH & 1 LOW)
 - SERVICE SINK:
 - REQUIRED: 1
 - PROVIDED: 1
 - MAX TRAVEL DISTANCE TO TOILET ROOMS: 1 STORY, 500 FT. (MPC 403.3.3)
 - MAX SUBSTITUTION OF URINALS FOR REQUIRED WC: 50% (MPC 424.2)

CODE LEGEND

OCCUPANCY TAG:	
AREA	NAME
150 SF	X-9
OCCUPANT LOAD FACTOR	OCCUPANCY GROUP
GROSS / NET	200 GROSS / 9999 OCC.
	(DIFFERENT) USE
	OCCUPANT LOAD FUNCTION OF SPACE
OCCUPANT GROUP LEGEND:	
A-3 ASSEMBLY USE - UNCONCENTRATED (TABLES AND CHAIRS)	
B BUSINESS USE	
S-1 STORAGE USE - ACCESSORY STORAGE / EQUIPMENT	

SYMBOLS LEGEND:

- EXT-100: EXT-100 ACCESS WITH CAPACITY SERVED
- EXT-100: REQUIRED EGRESS CAPACITY
- EXT-100: PROVIDED EGRESS CAPACITY (CLEAR DIMENSION / 0.2' PER PERSON)
- (20): OPENING PROTECTIVE RATING (IN MINUTES)
- PH: PANIC HARDWARE PROVIDED
- FE: FIRE EXTINGUISHER LOCATION
- : PATH OF TRAVEL - DISTANCE NOTED ON PLAN

FIRE RATING LEGEND

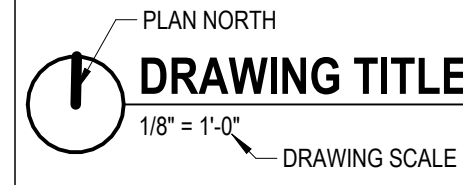
REFER TO SHEET GENERAL SHEETS FOR WALL, FLOOR, & ROOF TYPES.

- NON-RATED
- 1-HOUR RATED

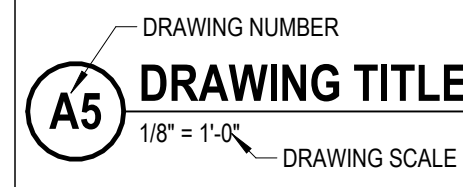
PROGRESSIVE AE GENERAL SYMBOLOGY

DRAWING TITLES

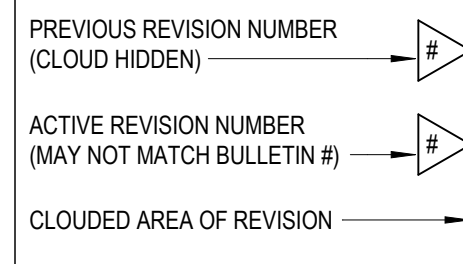
PLAN TITLE



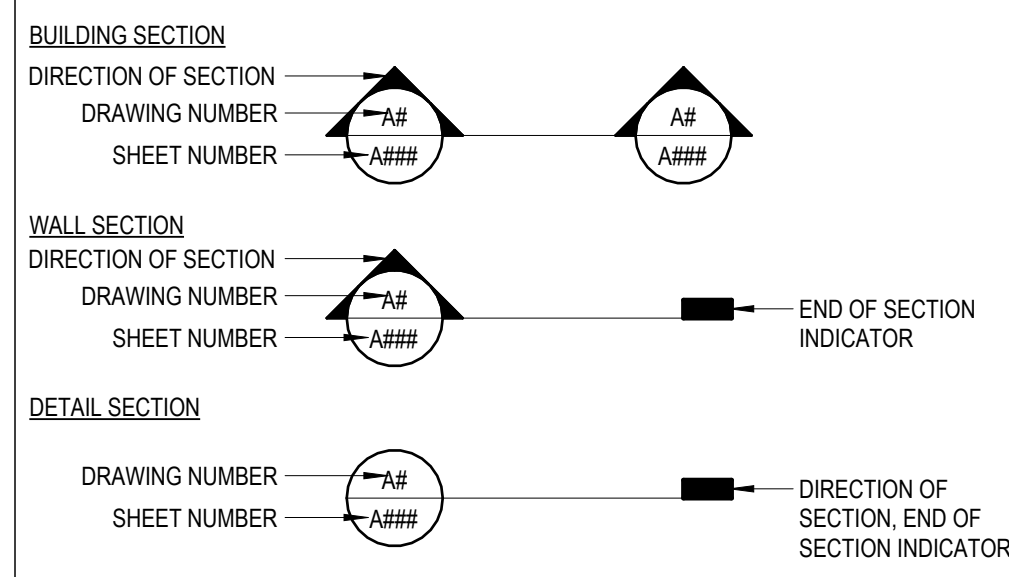
PLAN CALLOUT / SECTION / ELEVATION TITLE



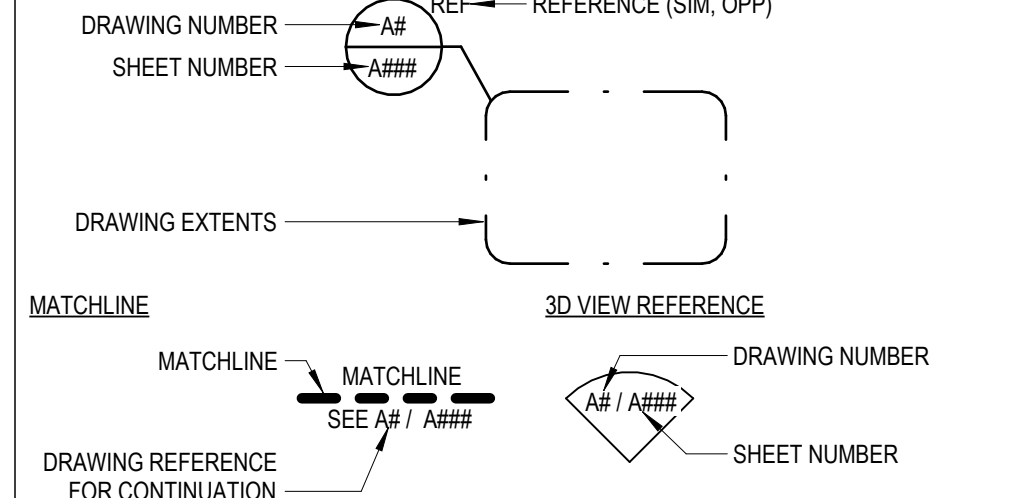
REVISION SYMBOLS



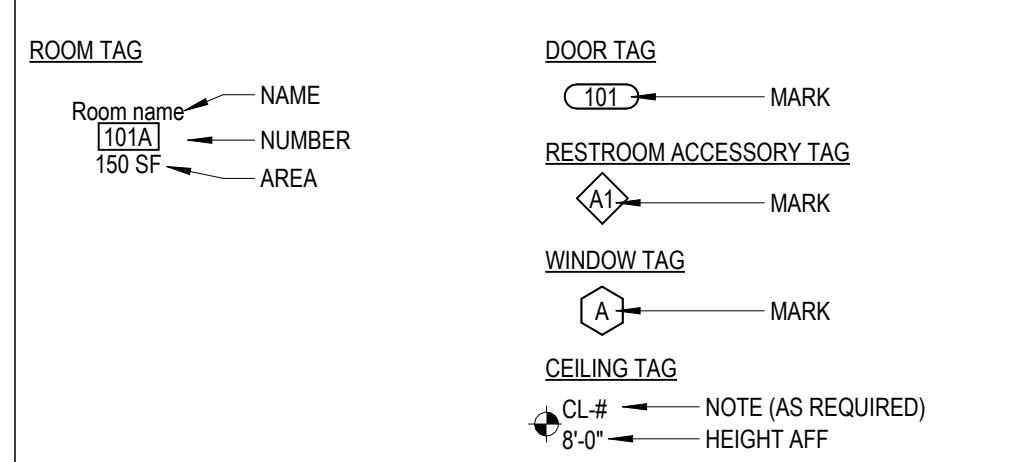
LOCATION SYMBOLS



DATUM SYMBOLS



TAGS



SYMBOLS

BREAK LINE

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ST. ROSE OF LIMA

PROGRESSIVE AE, INC.
 PROGRESSIVE
 COMPANIES

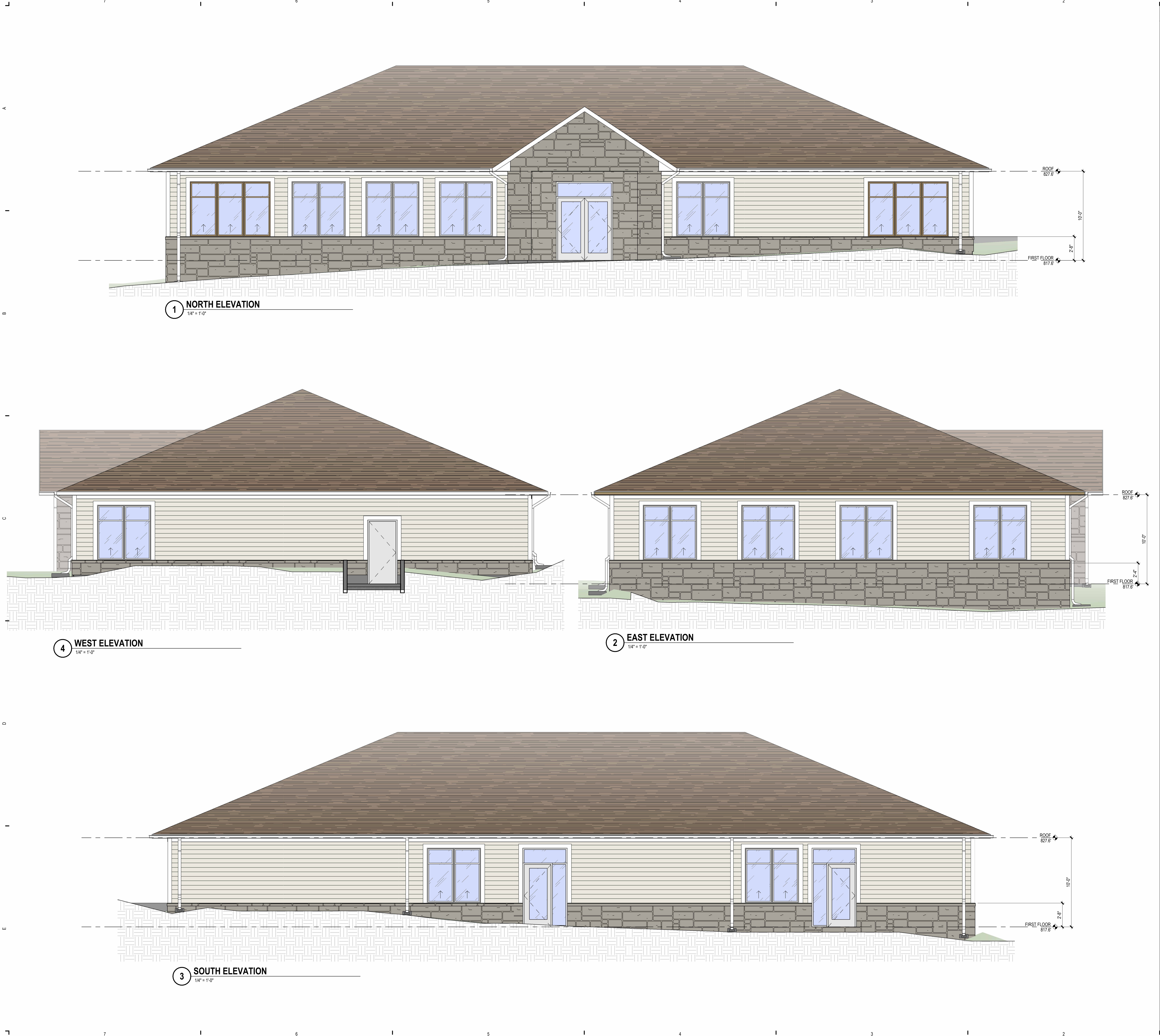
Charlotte, NC | Detroit, MI | Grand Rapids, MI
 wearprogressive.com

PROJECT NUMBER
 18433001
 PROJECT MANAGER
 J. VAN HOUTEN
 PROFESSIONAL
 J. VAN HOUTEN
 DRAWN BY
 R. RACIA-LEWIS
 CHECKED BY

CODE COMPLIANCE PLAN
 G101

10/13/2025 SITE PLAN REVIEW





	FIBER CEMENT LAP SIDING
	ASPHALT SHINGLE ROOFING
	DIRECT-APPLIED STONE MASONRY
	INSULATED GLAZING (IG-1)
	FIBER CEMENT TRIM - 4/4 X 6



**PROGRESSIVE
COMPANIES**

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ST ROSE OF LIMA
ADMINISTRATION BUILDING

805 S. JEFFERSON ST. HASTINGS, W. 68038

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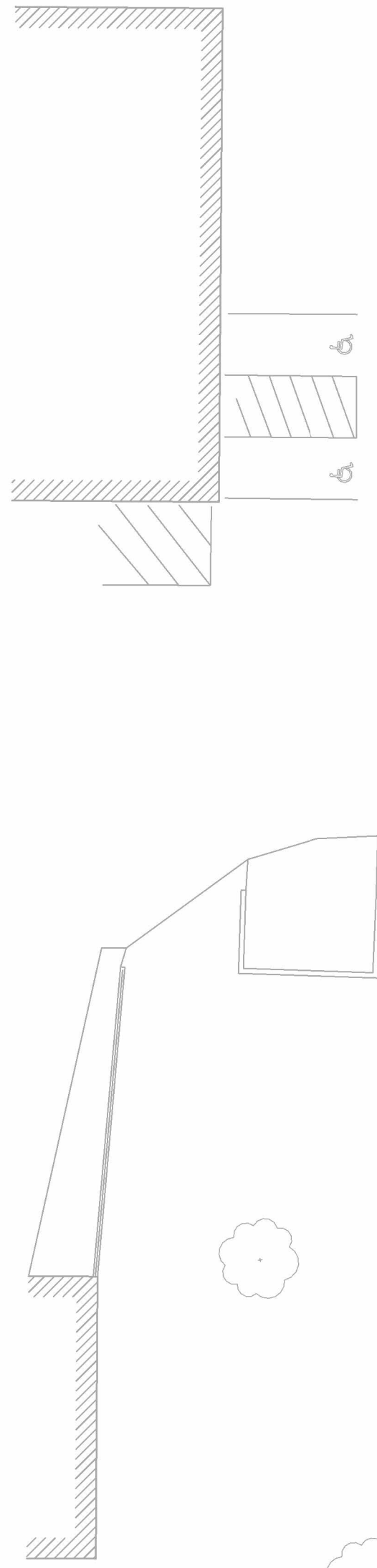
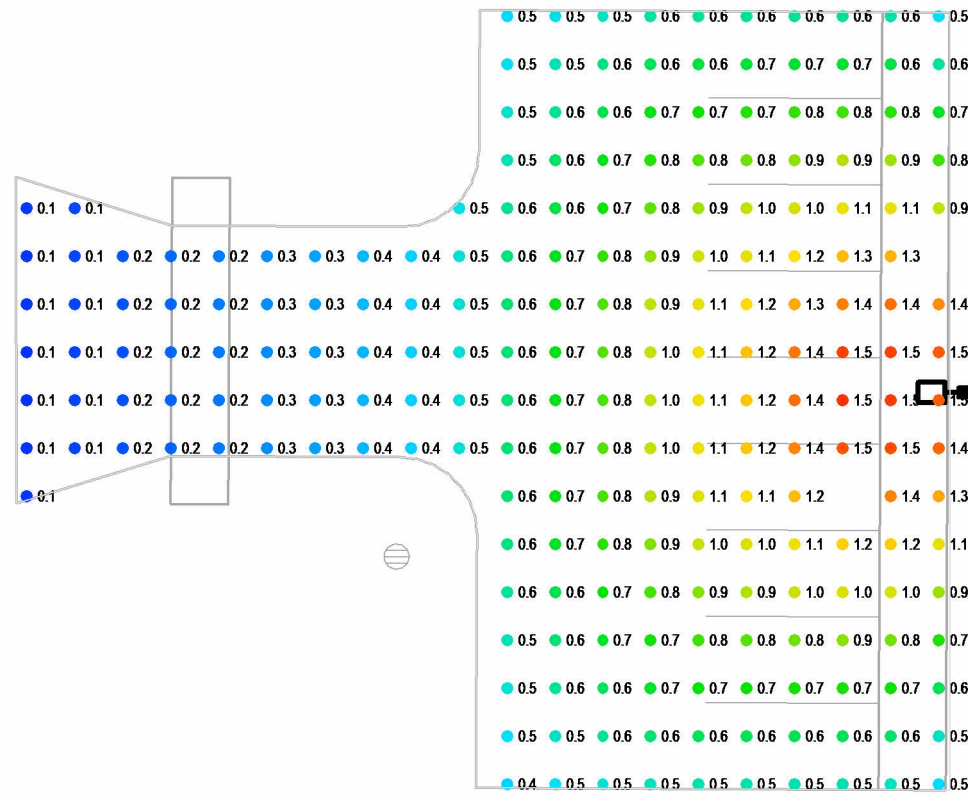
ISSUANCE
10/13/2025 SITE PLAN REVIEW

PROJECT NUMBER
98430001
PROJECT MANAGER
J. VAN HOUTEN
PROFESSIONAL
J. VAN HOUTEN
DRAWN BY
R. RACLAWSKI
CHECKED BY
R. KELLEY

EXTERIOR ELEVATIONS A201

SITE LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	LAMP	VOLT	WATT	MANUFACTURER	CATALOG NUMBER	APPROVED EQUAL	NOTE
S1	POLE MOUNTED AREA LIGHT	POLE	LED	120 V	68 W	LITHONIA	DSX1-LED-P2-35K-80CRI-TFTM-MVOLT-SPA-0BLXD		28" STEEL SQUARE POLE

SITE GENERAL PHOTOMETRICS SCHEDULE				
Calculation Points Name	Average	Maximum	Minimum	Max/Min
SITE - EAST	0.6 fc	1.6 fc	0.0 fc	100.2
SITE - WEST	0.7 fc	1.5 fc	0.1 fc	14.1



SITE PHOTOMETRIC PLAN
1" = 20'-0"

SITE PHOTOMETRICS GENERAL NOTES

- A. SITE PHOTOMETRICS DO NOT TAKE INTO CONSIDERATION ANY EXISTING SITE OR STREET LIGHTING.

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ST ROSE OF LIMA

ADMINISTRATION BUILDING

PROJECT NUMBER
98430001
PROJECT MANAGER
J. VAN HOUTEN
PROFESSIONAL
D. HERSCHER
DRAWN BY
G. DISCHA
CHECKED BY
D. HERSCHER

SITE PHOTOMETRICS PLAN
ESP001

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ISSUANCE
10/13/2025 SITE PLAN REVIEW

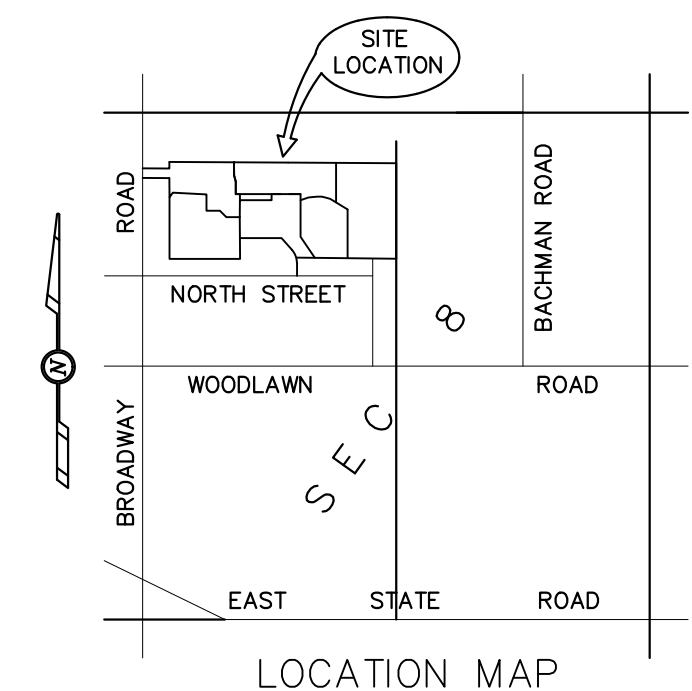
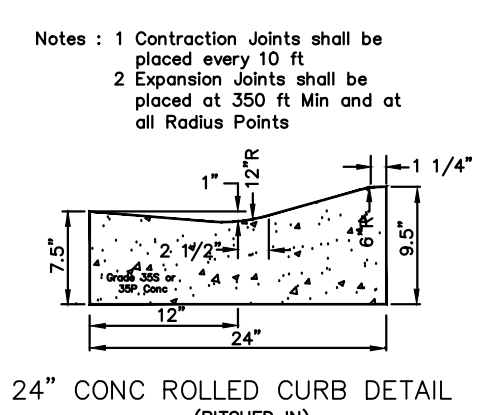


North Ridge Estates Condominiums

PUD Narrative

- This development consists of 8.45 acres to be re-zoned to PUD, with the following residential buildings:
 - (8) 3 unit single family condominiums
 - (3) 4 unit single family condominiums
 - (1) 2 unit single family condominiumTotal units: 38 units

- The proposed density is 4.5 units/acre; 6 units/acre maximum density is allowed per ordinance.
- 10% open space is required to be provided which is 0.85 acres. 0.94 acres is provided, including the pond near the southwest corner.
- The proposed sizes of the units will range from 1,100 to 2,000 square feet.
- Building width varies from 68' to 136'.
- The minimum R-2 setback requirements are proposed for all units.
- All units are to be serviced with public sanitary sewer and watermain.
- Stormwater will be directed to the existing stormwater basins – pond and lake, which have been designed for including this developed area.
- The development will be accessed by public roadways.



- NOTES:
- PROPOSED PUD ZONING
 - TOTAL GROSS ACRES: 8.45
 - THE SOUTHEAST BODY OF WATER IS APPROXIMATELY 5.4 ACRES. BECAUSE IT IS CLASSIFIED AS A LAKE (>5.0 ACRES), IT IS EXCLUDED FROM THE PROPERTY'S TOTAL GROSS ACREAGE CALCULATION.
 - MAX DWELLING DENSITY: 50 TOTAL UNITS (6 UNITS PER ACRE MAXIMUM)
 - PROPOSED UNITS: 38
 - TOTAL NET ACRES (EXCLUDING POND): 8.01
 - OPEN SPACE REQUIRED: 0.80 ACRES
 - PROPOSED OPEN SPACE: 0.94 ACRES (11.74%)

The Land is described as follows:

Situated in the City of Hastings, County of Barry and State of Michigan,
to-wit:

Commencing at the North 1/4 post of Section 8, Town 3 North, Range 8
West, thence South 0 degrees 54' 41" West 1509.27 feet; thence North 88
degrees 30' West 514 feet to the point of beginning; thence North 88
degrees 30' West 434.25 feet; thence 53.93 feet on a left curve with a
radius of 354.46 feet, chord bearing North 17 degrees 38' 29" West 53.88
feet; thence North 22 degrees West 145.9 feet; thence South 63 degrees
West 66 feet; thence North 22 degrees West 97.52 feet; thence North 88
degrees 30' West 480.78 feet; thence North 01 degree 30' East 478.19 feet;
thence North 88 degrees 59' 33" West 43.07 feet; thence North 01 degree
00' 27" East 133.45 feet; thence North 13 degrees 17' 15" West 68.11 feet;
thence North 01 degree 00' 27" East 136.09 feet; thence South 88 degrees
46' 18" East 1012.5 feet; thence South 0 degrees 54' 41" West 340 feet;
thence South 44 degrees 57' 22" East 168.81 feet; thence South 0 degrees
54' 41" West 550 feet; to the point of beginning. EXCEPT North Ridge Estate
No. 3.

NOTE: Above legal description taken from the tax assessed legal.

NORTH RIDGE CONDOMINIUMS SITE PLAN HASTINGS, MI

PREPARED FOR:
WOODLAWN MEADOWS HASTINGS, LLC

PREPARED BY:

Pathfinder
Engineering, Inc.

795 Clyde Court S.W. Suite "C" Byron Center, MI 49315
Phone 1-616-878-3885 Fax 1-616-878-4559
DATE: 10-14-25 PROJECT NO.: 25030

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Z:\25030\DWG\25030 SITE LAYOUT 10-7-25.dwg

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREEN COVERED VENTS, SIZE AS NOTED.
3. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4. STONE WAINSCOT WITH SLOPED STONE CAP.
5. 4" (ACTUAL) 3 1/2" TYP SURROUND
6. LOOKOUT DEVICE OR 42" HIGH GUARDRAIL, AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL FEET SPECS AS REQUIRED



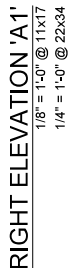
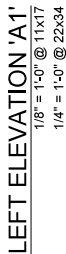
SHEET NO.

DRAWING TITLE: EXTERIOR ELEVATIONS

PLAN NUMBER: 43411285
RELEASE DATE: 01.30.2023

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1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREEN LOUVERED VENTS. SIZE AS NOTED.
3. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4. STONE WAINSCOT WITH SLOPED STONE CAP.
5. 4" ACTUAL 3 1/2" THIN SURROUND
6. LOOKOUT DEVICE OR 42" HIGH GUARDRAIL AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPECS AS REQUIRED



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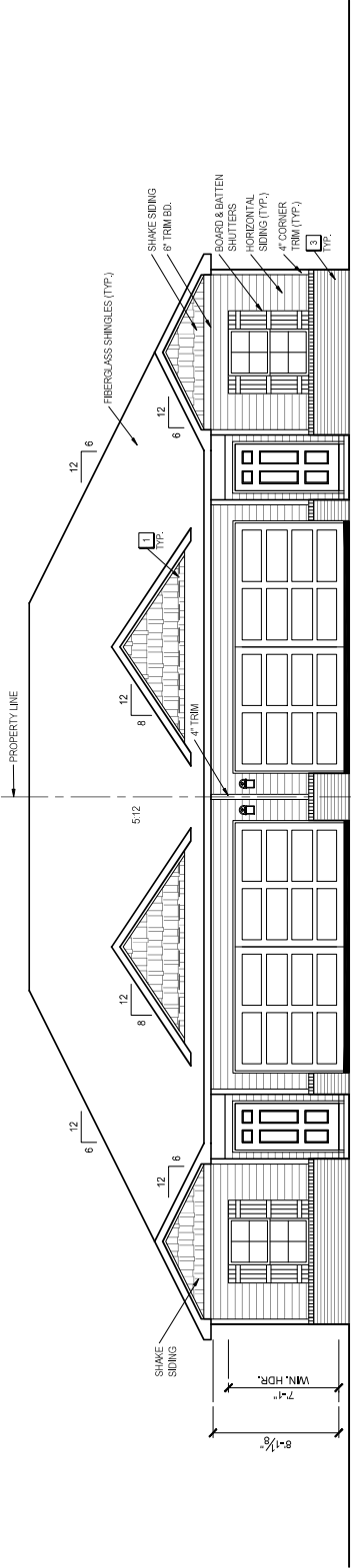
PLAN NUMBER: 43411285
RELEASE DATE: 01.30.2023

NEWBERRY

SHEET NO: A1.2-A1

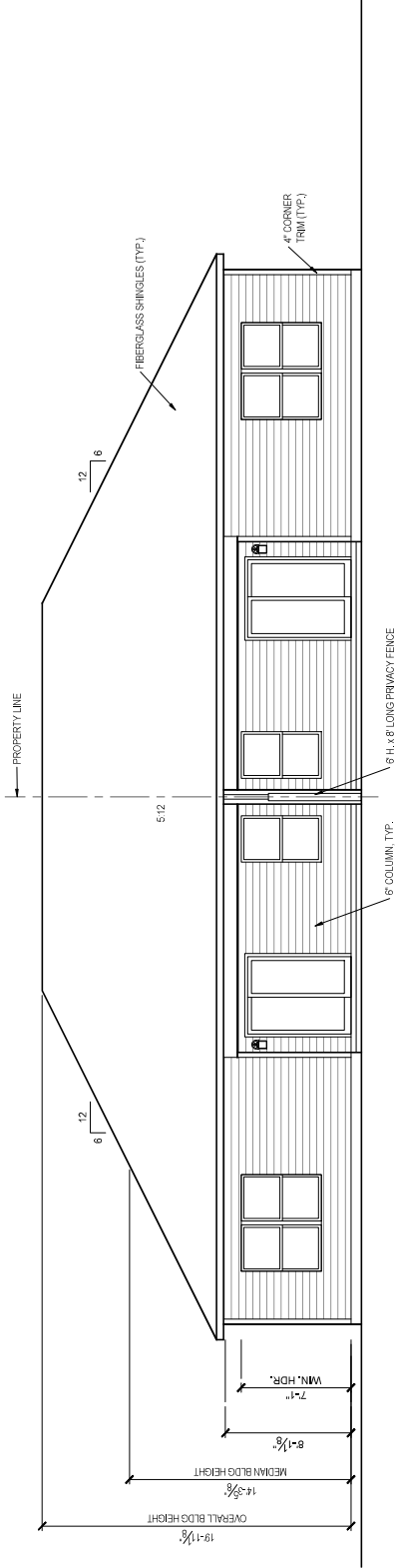
Keynotes | Legend

1. ALUMINUM VINYL SIDING TO MATCH EXISTING AT ALL ROOF/WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREW IN WALL INTERSECTIONS, SIZE AS NOTED.
3. BRICK WAINSCOT WITH SLOPED BRICK IRON/LOCK CAP.
4. STONE WAINSCOT WITH SLOPED STONE CAP.
5. 1/2" ALUMINUM VINYL SIDING TO MATCH EXISTING AT ALL ROOF/WALL INTERSECTIONS.
6. LOCKOUT DEVICE OR 42" HIGH GLASS/SHAL AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPEC'S AS REQUIRED



FRONT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

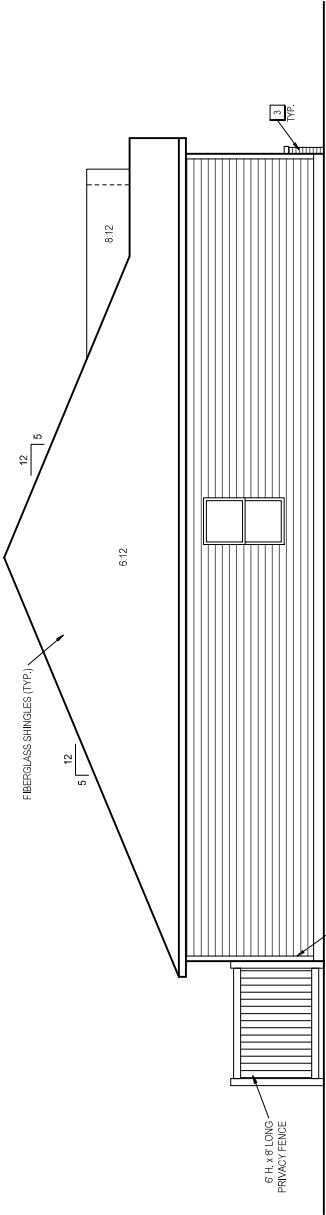


REAR ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

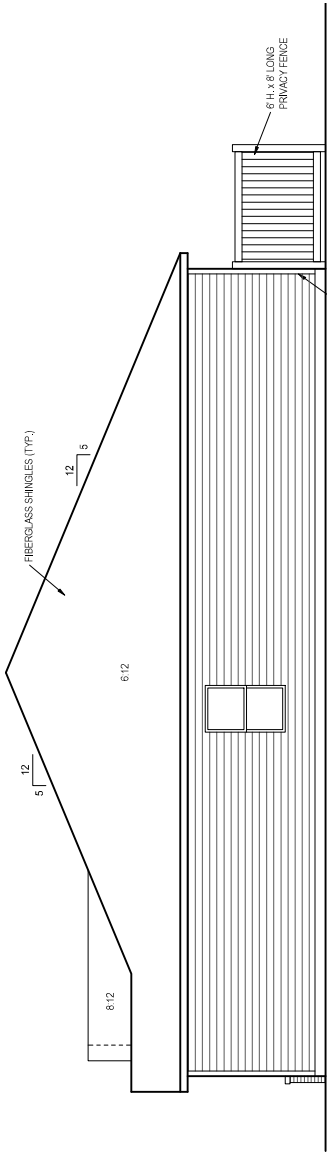
Keynotes | Legend

- 1. CORROSION RESISTANT COAT TO WALL GLASSING AT ALL DOOR/WALL INTERSECTIONS.
- 2. CORROSION RESISTANT SCREEN COVERED VENTS, SIZE AS NOTED.
- 3. BRICK MANSICOT WITH SLOPED BRICK ROWLOCK CAP.
- 4. STONE MANSICOT WITH SLOPED STONE CAP.
- 5. 1/2" x 1/2" x 1/2" BRICK MANSICOT WITH SLOPED BRICK ROWLOCK CAP.
- 6. LOCKOUT DEVICE OR 42" HIGH GUARDRAIL AS REQUIRED PER MUNICIPALITY
- 7. WINDOW WELL PER SPECS AS REQUIRED



LEFT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



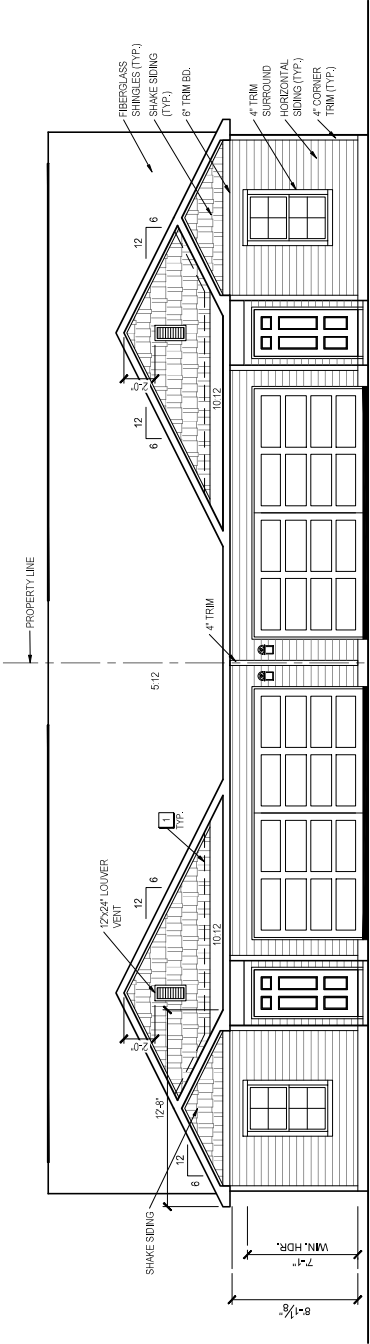
RIGHT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

MODEL: NEWBERRY		SHEET NO: A1.2-A2	
DRAWING TITLE: EXTERIOR ELEVATIONS		CENTURY COMMUNITIES	
PLAN NUMBER: 43411285	RELEASE DATE: 01.30.2023	CENTURY COMMUNITIES expressly reserves its common law copyright and all other property rights in and to the plans and specifications. These plans are not to be copied, reproduced, or changed, in whole or in part, without the written consent of Century Communities. Whatever, nor are they to be assigned to a third party without the express written permission and consent of Century Communities.	
REFER TO COVER SHEET FOR DESCRIPTION		GL-23.1	

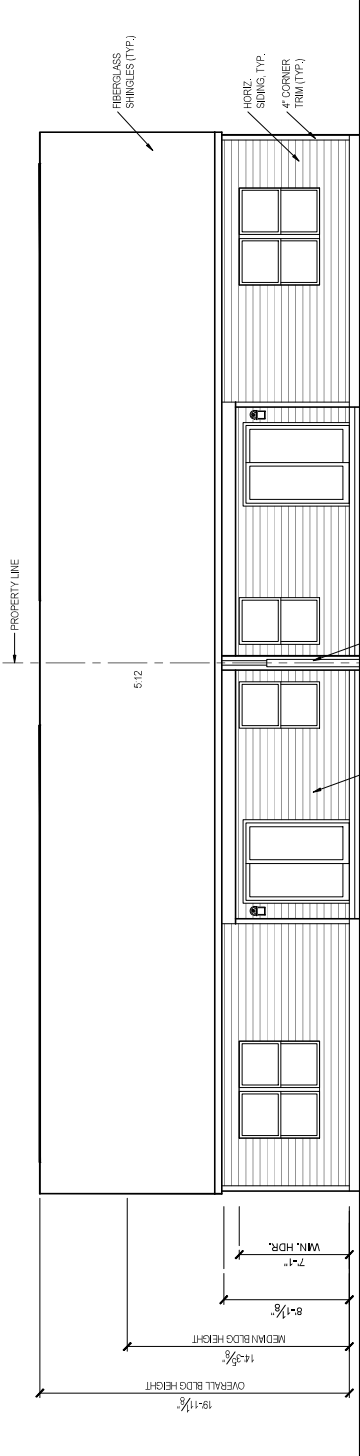
Keynotes | Legend

1. ALUMINUM VINYL SIDING TO MATCH EXISTING
2. CORROSION RESISTANT SCREEN MOUNTED VENTS, SIZE AS NOTED
3. BRICK WAINSCOT WITH SLOPED BRICK FROWLOCK CAP
4. STONE WAINSCOT WITH SLOPED STONE CAP
5. 1/2" x 24" LOUVER VENT
6. LOCKOUT DEVICE OR 4" HIGH GLASSDOOR AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPEC AS REQUIRED



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

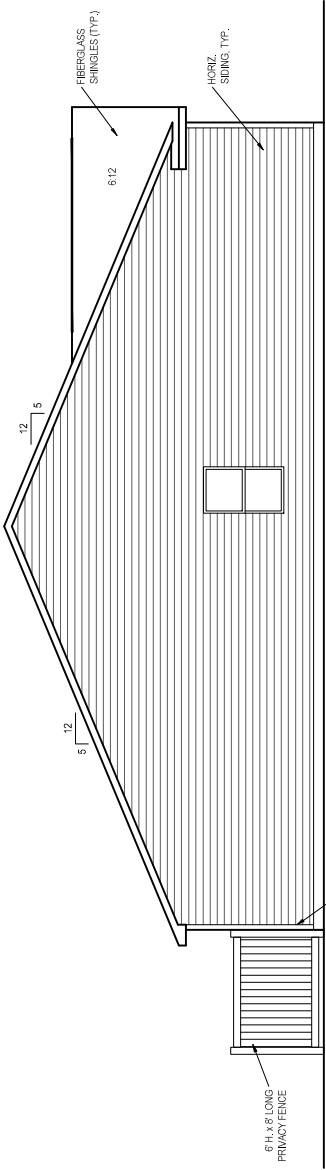


REAR ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

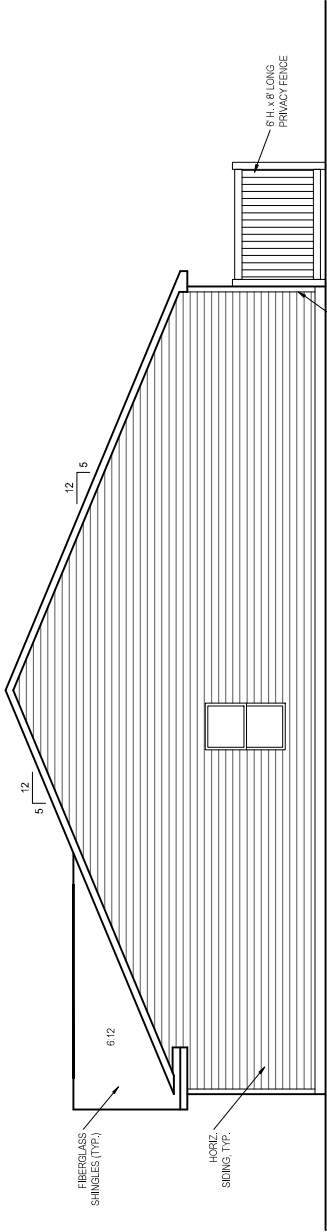
Keynotes | Legend

1. CORROSION RESISTANT GUT TO WALL FLASHING AT ALL ROOF/WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREEN COVERED VENTS, SIZE AS NOTED.
3. BRICK MANSICOT WITH SLOPED BRICK ROWLOCK CAP.
4. STONE MANSICOT WITH SLOPED STONE CAP.
5. 4" CORNER TRIM (TYP.)
6. LOCKOUT DEVICE OR 42" HIGH GUARDRAIL AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPECS AS REQUIRED



LEFT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

4" CORNER TRIM (TYP.)

MODEL

NEWBERRY

EXTERIOR ELEVATIONS

DRAWING TITLE

SHEET NO.

A1.2-B1

PLAN NUMBER

43411285

RELEASE DATE

01.30.2023

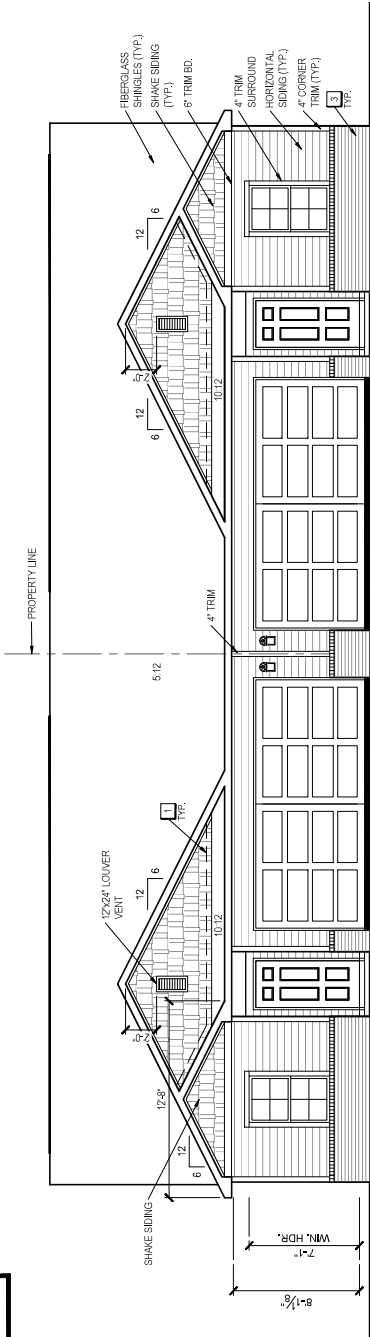
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GL-23.1

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Keynotes | Legend

1. ALUMINUM VINYL SIDING TO MATCH EXISTING
2. CORROSION RESISTANT SCREEN UNFURLED VENTS, SIZE AS NOTED
3. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP
4. STONE WAINSCOT WITH SLOPED STONE CAP
5. 1/2" x 1/2" x 1/2" BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP
6. LOCKOUT DEVICE OR 4" HIGH GLASSDOOR AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPEC AS REQUIRED

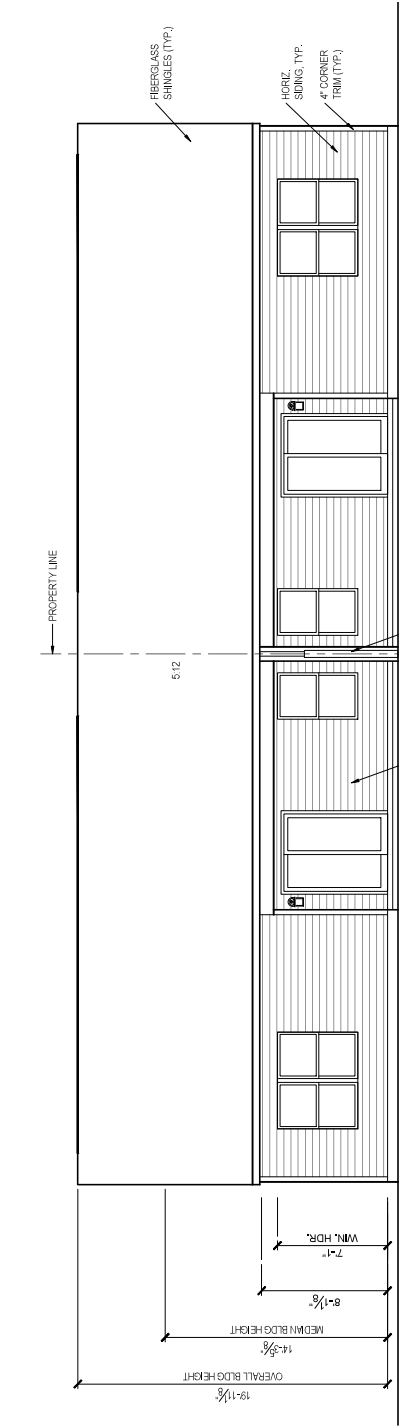


FRONT ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

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GL-23.1
REFER TO COVER SHEET FOR DESCRIPTION



REAR ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

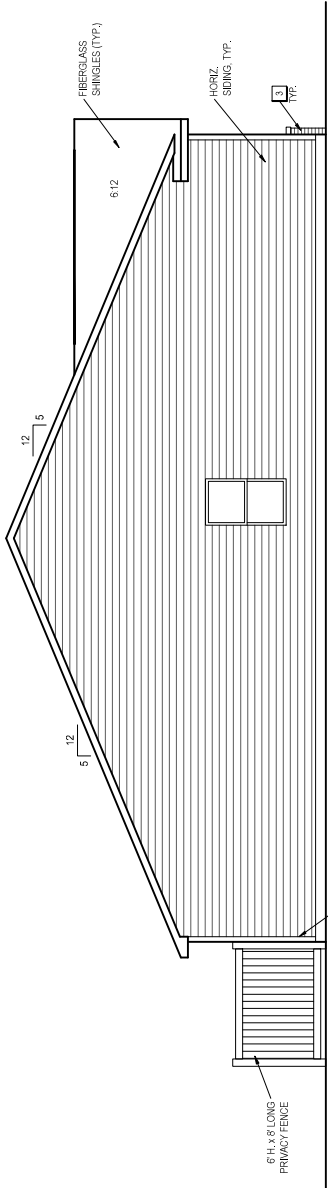
NEWBERRY
EXTERIOR ELEVATIONS

PLAN NUMBER
43411285
RELEASE DATE
01.30.2023

MODEL
SHEET NO.
A1.1-B2

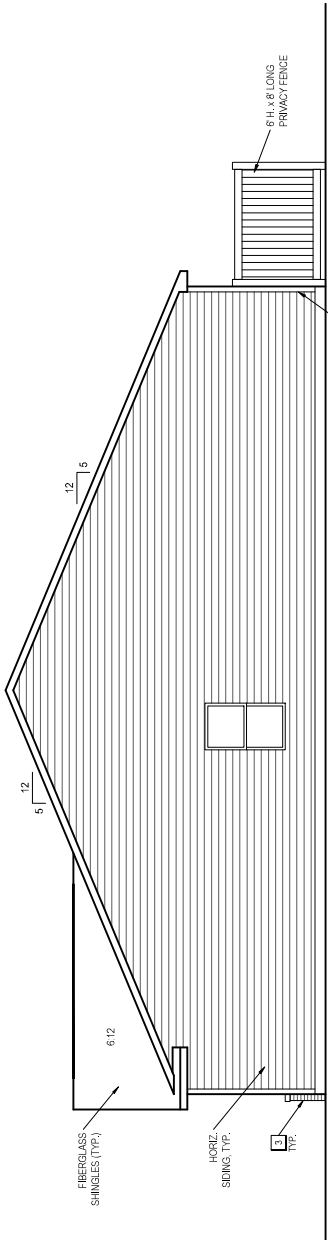
Keynotes | Legend

1. CORROSION RESISTANT SCREWS TO WALL BRACKETS AT ALL CORNER/WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREEN COVERED VENTS, SIZE AS NOTED.
3. BRICK MANSCOT WITH SLOPED BRICK ROWLOCK CAP.
4. STONE MANSCOT WITH SLOPED STONE CAP.
5. 4" CORNER TRIM (TYP.)
6. LOCKOUT DEVICE OR 42" HIGH GUARDRAIL AS REQUIRED PER MUNICIPALITY
7. WINDOW WELL PER SPECS AS REQUIRED



LEFT ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

MODEL
SHEET NO.

NEWBERRY

EXTERIOR ELEVATIONS

PLAN NUMBER
43411285

RELEASE DATE
01.30.2023

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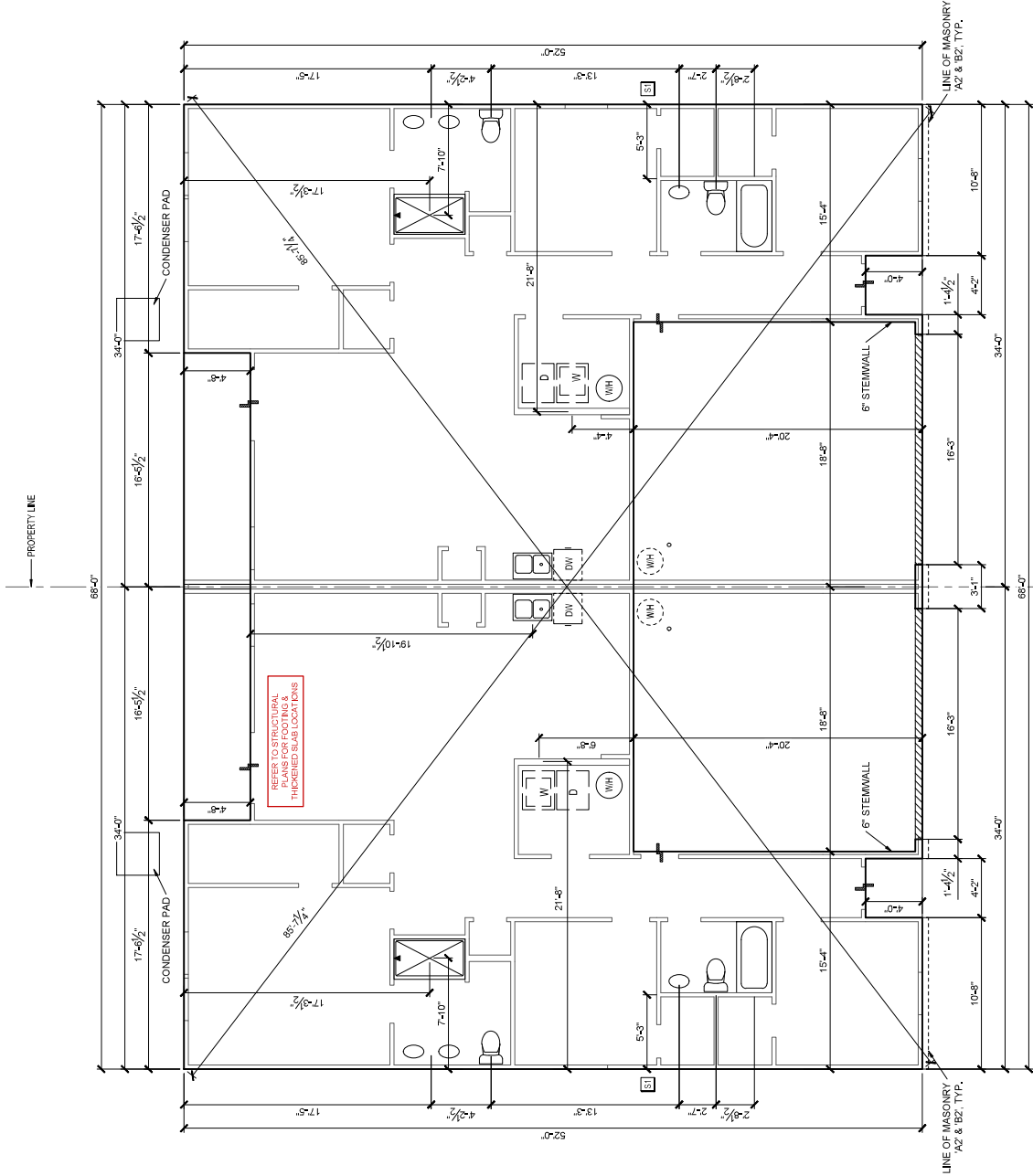
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GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICKSTONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.
- CONDENSER PAD SHALL BE FIELD LOCATED.

SLAB FOUNDATION KEYNOTES

- S1 GROUNDING ELECTRODE CONDUCTOR, LOCATE ON SITE.



SLAB PENETRATION PLAN 'A' & 'B'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

SHEET NO.

A2.1

NEWBERRY

SLAB FOUNDATION

PLAN NUMBER
43411285

RELEASE DATE
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REFER TO COVER SHEET FOR DESCRIPTION

GL-23.1

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1. REFER TO ENGINEERING STRUCTURAL DRAWINGS S-6 FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONIST. W/ DOUBLE TOP PLATE U/LQ.
3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADS SHALL BE 1/2 (24" OR 36") DOUBLE U/LQ. ALL EXTERIOR NON BEARING DOOR & WINDOW HEADS NOTED OTHERWISE.
4. (2) HOSE BIBS SHALL BE INSTALLED. LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
5. (2) 24" FRAME WALLS SHALL BE INSTALLED
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[illegible]

area tabulation	
GARAGE	382 SF
FRONT PORCH	17 SF
REAR PATIO	75 SF
FLOOR 1 LIVING	1,285 SF
TOTAL LIVING	1,285 SF

GARAGE	382 SF
FRONT PORCH	17 SF
REAR PATIO	75 SF
FLOOR 1 LIVING	1,285 SF
TOTAL LIVING	1,285 SF

FIRST FLOOR PLAN 'A' & 'B'

SHEET NO.:

FIRST & SECOND FLOOR PLAN

01.30.2023

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MCKENNA

October 31, 2025

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

Subject: North Ridge Estates PUD

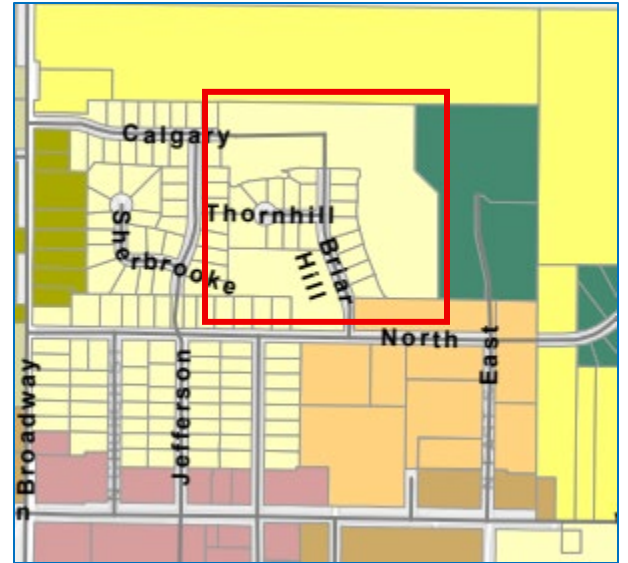
Location: West Calgary Drive/Briar Hill Drive

[Parcel #55-155-000-00]

Zoning: R-1 District

Request: Scott Chandler requests Preliminary Development Plan Review to facilitate the rezoning of an approximately 14-acre parcel from the R-1 District to North Ridge Estates PUD . . and the proposed development of 38 single-family condominiums (12 buildings).

Zoning Map



Yellow R-1 One Family Residential District
Green PUD Planned Unit Development District

- Specifically, the North Ridge Estates PUD proposal is proposed to include the following elements:
 - Construction of 12 buildings with attached single-family dwellings (3 4-unit buildings; 8 3-unit buildings; 1 2-unit building – total 38 dwelling units) on northern 8.5 acres
 - Public roads: extension/connection of Calgary Drive and Briar Hill Drive
 - Public sanitary sewer and water service
 - Existing stormwater drainage feature (southern 5.5 acres)
 - Open space – 0.94 acres (11.74% of 8.5-acre development site)

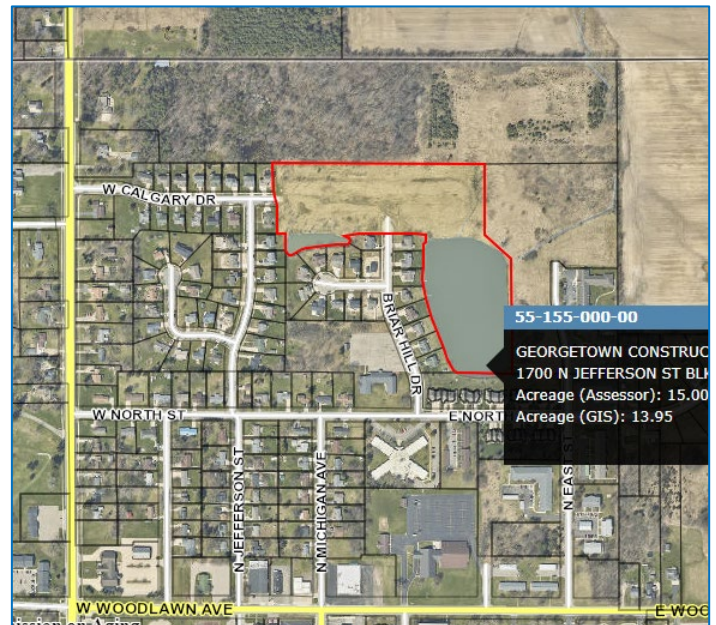
- The requested PUD Rezoning and Preliminary Development Plan review shall be guided by **Section 90-667 (c)** – Preliminary Development Plan Submission and Content, **Section 90-667 (d)** – PC Review of Preliminary Plan and the design standards set forth in **Sections 90-663-90-666**.

Article VII – Planned Unit Development

Sec 90-663 – Qualifying Conditions – The subject property consists of approximately 14 acres and will be served by public water and sanitary sewer.
– *compliance noted*

Sec 90-664 – Development Requirements –
compliance noted

- Density: 6 d.u./acre allowed; 4.5 d.u./acre proposed
 - Total Site Area – 14 acres
 - Net Development Area – (total site area minus land areas permanently inundated by water) – 8.5 acres
 - 38 d.u. proposed
- Open Space: 0.85 acres (10%) required; 0.95 acres (11%) proposed
- Mixed Uses: only residential use proposed



Sec 90-665 – Applicable Regulations

Requirements for lot size, width, area, yard setbacks, structure height, signs, parking, and landscaping shall be based on the applicable requirements of the R-1 District, **unless otherwise modified by the City to better meet the intent of the PUD.**



- 
- Lot Size/Width/Area/Coverage – applicable lot dimensional and coverage requirements are met
 - Setbacks – applicable front, side and rear setback requirements and building separation requirements are met
 - Building Height – 35 ft max building height allowed; **proposed building heights unknown**
 - Signs – N/A
 - Parking – site access and parking are proposed largely in compliance with applicable requirements, with the following comments:
 - 2 parking spaces/d.u. proposed
 - Each dwelling unit is provided a garage served by a driveway extending from Calgary Drive
 - Driveways do not occupy >40% of the width of the front yard
 - Driveway surface - **unknown**
 - Landscaping - **compliance with landscaping and standards established by Article XII requires confirmation.**
 - The subject site is adjacent to R-1, R-2 and PUD zoning. Buffer zone requirements do not apply
 - **Proposed open space and landscaping have not been detailed**
 - Floor Area – 1000 sq ft min required; dwelling units are proposed to range from 1100-2000 sq ft in size

Sec 90-666 – PUD Design Considerations

- The Preliminary Development Plan positively responds to the specific design considerations related to perimeter setbacks; street drainage/utility design; underground installation of utilities; traffic flow & emergency access; off-street parking; density; and open space set forth in this Section.



- 
- The Preliminary Development Plan is lacking detail related to pedestrian ways; harmonious integration with respect to lighting, landscaping and building materials; and buffering from adjacent residential uses, as required by this Section.

Sec 90-667 – Application and Processing Procedures

- The application material is lacking the following required content:
 - Property lines w/ dimensions
 - Size and location of all areas devoted to open space
 - Existing vegetation and proposed landscaping/buffering
 - Existing topography
 - Incomplete narrative





City of *Hastings* Michigan

(269) 945-2468
FAX (269) 948-9544

201 E. State Street 49058

October 13, 2025

Re: AT&T c/o Robin Marshburn/Mastec Network Solutions Site Location 107 W. Blair St., Hastings, MI 49058

This letter is in response to the plans provided to remove, relocate, and install AT&T telecommunications antennas and related equipment at 107 W. Blair St., Hastings, MI 49058.

Per Chapter 90, Article 90-XIII – 2, Section 90-1085 (c) of the Municipal Code, the site plan can be reviewed administratively if compliance with subsections 1-5 are confirmed.

Upon review of the site plan and site plan information, compliance with subsections 1-5 of Section 90-1085 (c) has been noted. The site plan submittal is approved, and you may now proceed to obtain the applicable building and electrical permits.

If you have any questions or concerns, please feel free to contact me.

Dan King
Community Development Director/Zoning Administrator
201 East State Street
Hastings, Michigan 49058
269-945-6001
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City of *Hastings* Michigan

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201 E. State Street 49058

October 15, 2025

Re: Dean Arnold, 1435 South Hanover, Hastings, Michigan 49058

This letter is in response to the plans provided to place four (4) sea containers as accessory storage units on property located at 1435 South Hanover, Hastings, Michigan 49058.

Per Chapter 90, Article 90-IV, Section 90-127 (b)(1)(2) of the Municipal Code, the site plan can be reviewed administratively if a change in the use of a building or property or an expansion of the building or use which does not result in the need for more parking spaces required by this chapter and construction of a building or structure which is accessory to the principal building or use.

Upon review of the site plan and site plan information, compliance with Section 90-127 (b)(1)(2) has been noted. The site plan submittal is approved, and you may now proceed to obtain the applicable building and electrical permits.

If you have any questions or concerns, please feel free to contact me.

Dan King
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City of Hastings
Planning Commission
Work Tasks for 2025
STATUS REPORT FOR NOVEMBER 2025

1. Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width.
2. Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan. **Planning Consultant Harvey to provide recommendation.**
3. Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2025.
4. Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
5. Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
6. Review landscape buffer requirements between multiple family zones and the B-1 district for waste of developable space. Master Plan action item.
7. Review Article 90-VII Planned Unit Development for complete amendment consideration.
8. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements. **Refer to Housing Committee for discussion.**
9. Review text regarding multi-family dwellings for possible modification. Master Plan action item.

Items highlighted in **green** are currently under consideration by the Planning Commission.

Items highlighted in **yellow** are currently under consideration by the Housing Committee.

Items highlighted in **red** require no further action at this time.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowtone Mobile Home Park 1812 Lavender Drive Maintenance Building	1.13.22	1.13.22	1.13.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
City of Hastings and Barry County Central Dispatch 1037 East State Street	NA	3.27.23	5.1.23	Approved	Administrative approval of performance standards. Waiver of side setback requirement	
420 E Mill Street PUD	5.30.23	5.31.23	7.3.23	Approved	24.5 units/acre 40 ft building height 5 feet front setback 30 ft building separation Delineation of phased development Lighting, landscaping, building exterior to be approved administratively. Acceptance of parking lot/100 yr FP DPS and Fire approval.	
Meadowstone Apartments III 710 Barfield Drive	6.12.23	6.12.23	8.7.23	Approved	Exterior finish subject to administrative approval. Utility and storm management subject to approval by DPS Director	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Chad Stora 1000 Enterprise Drive	7.12.24	7.12.24	8.5.24	Approved	Zoning Administrator review of uses. Compliance with refuse screening.	
Zach Santmier 128 S. Jefferson	9.16.24	9.16.24	10.7.24	Approved	The height of the first-floor windows approved to be 48" to 52" above the sidewalk with slightly tinted window	
Woodlawn Meadows Retirement Village II 1813 N. East Street	9.17.24	9.17.24	11.04.24	Approved	The modified lot sizes (7,700 sq ft - 18,000 sq ft) and lot widths (56-66 ft) are approved as proposed and the ordinance authorizing the proposed PUD will list the modified requirements The zoning notes of the Final Development Plan will reflect the R-1 lot width requirements The 25-foot front, and 25-ft rear, and 15/6 foot side setbacks are approved as proposed and the ordinance for the proposed PUD will list the modified requirements Proposed extension of East Street as private road with 28 feet width and rolled curb. Stormwater management plan, utility system, and private street extension approved by City Master Deed and PUD conform to S/C	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plans and prints to staff	PC Agenda Date	PC Decision	Conditions for Completion	COI
Bacman Fields 900 Bachman Road	2.11.25	2.11.25		4.7.25	Several. See draft ordinance	
Terry Dennison 220 W. Colfax	4.9.25	4.9.25	5.5.25	5.5.25	Proposed plan for refuse disposal Lighting plan Landscape plan	
Broadmoor Motors 1504 S Hanover	8.11.25	8.11.25	9.2.25	9.2.25	Lighting Plan Landscaping plan Parking Space and Locations	
Kevin Andersen 148 E State St	9.4.25	9.4.25	10.6.25	10.6.25	Administrative Review of Façade Materials	