

HASTINGS PLANNING COMMISSION A G E N D A

Monday October 6, 2025

- 1. Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
- 2. Pledge of Allegiance**
- 3. Approval / additions / deletions to agenda**
- 4. Approval of Minutes** September 2, 2025, Draft Meeting Minutes of the Planning Commission *
and September 26, 2025, Draft Special Meeting Minutes of the Planning Commission *
- 5. Informative Items:** None
- 6. Public Hearings:**
 - A. Public hearing to review and consider amending Chapter 90, Article 90-VI by adding Division 90-VI-18 -3 to 4 Family Overlay District. *
- 7. New Business:**
 - A. Review and Consider Site Plan Approval for Kevin Anderson at 148 E. State Street. *
 - B. Consider Scheduling a Public Hearing for the November 3, 2025, meeting to Review and Consider Site Plan and Special Use Permit for St. Rose Church at 805 S. Jefferson Street. *
 - C. Administrative Site Plan Approval for Meadowstone Apartments III at 712-720 Barfield Drive. *
- 8. Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2025 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
 - D. Land Division (Subdivision) Ordinance vs. Site Condo Regulations *
- 9. Open Public Discussion and Comments**
- 10. Staff Comments**
- 11. Commissioner Comments**
- 12. Adjourn**

*Indicates attachment

CITY OF HASTINGS

PLANNING COMMISSION MEETING MINUTES

September 2, 2025

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: Levi Bolthouse, Scott Darling, Chelsey Foster, David Hatfield, Nichole Lyke, Bill Mattson, Sarah Moyer-Cale, and Dave Tossava. Student member Meredith Ansorge was also present.
Absent: Jacquie McLean

Call to Order

Also present: Planning Consultant Rebecca Harvey and Community Development Director/Zoning Administrator Dan King.

It was MOVED by Mattson and SECONDED by Lyke to approve the agenda as presented. All members present voting yes; motion carried.

Approval of the Agenda

It was MOVED by Tossava and SECONDED by Foster that the proposed minutes of the Regular Meeting of May 5, 2025 be approved. All members present voting yes; motion carried.

Approval of the Minutes

None.

Informative Items

King and Harvey presented information about the request and summarized the staff review. Chairperson Hatfield opened the public hearing at 7:11 p.m. Marcus Ringnalda spoke on behalf of the application and presented the site plan contents. Matt Koning provided information on the history of the business and the need for growth. The Planning Commission asked questions regarding site lighting. There was extensive discussion regarding the building orientation and the direction of the doors on the building. Screening and landscaping were discussed as there were no details provided on the plan. It was confirmed by the applicant that they intend to keep the vehicle sales area as is. They also confirmed that they only do service work for their cars and customer vehicles; they do not provide service to outside vehicles. No other public comments were received, and the public hearing was closed at 7:56 pm.

Public Hearing: SLU and site plan for Broadmoor Motors, 1504 S Hanover

The Planning Commission discussed the plan further, noting multiple items that were not included in the application or on the site plan. The sidewalk requirement was also discussed. The majority of members expressed that they did not think the sidewalk extension on Shriner was necessary.

It was MOVED by Tossava and SECONDED by Bolthouse to approve the special land use for a vehicle repair shop and site plan for 1504 South Hanover, with the following conditions to be reviewed and approved by staff:

- A lighting plan compliant with the zoning ordinance is required
- Any future signage must be reviewed
- Fencing and/or screening must comply with the zoning ordinance
- Landscaping must meet the district and buffer zoning requirements
- Parking locations and number of spaces must meet ordinance

requirements.

- Approval by the Fire and Public Services Departments must be received.

Further, the application is to be approved with these findings:

- No sidewalk is required on Shriner.
- The elevations as shown with the application are approved subject to final staff review of the materials. It is noted that the Commission is approving metal siding as an acceptable material for this project.

All members present voting yes; motion carried.

King discussed the preliminary site plan for 420 E Mill planned unit development. The amendments would include a daycare use and the reorientation of the commercial building, and moving one of the apartment buildings a few feet. Discussion was held regarding parking and the commercial building size was confirmed. The applicant requested an expedited approval.

New Business:
PUD Amendment
for 420 E Mill –
preliminary
review

It was MOVED by Bolthouse and SECONDED by Darling to schedule a public hearing and special meeting for the PUD amendment and final site plan approval on Friday, September 26, 2025, at 3:00 p.m. All members present voting yes; motion carried.

The Commission reviewed the plan for North Ridge Estate Condos. No objections were noted and it was found to be generally in line with development expected and appropriate for that neighborhood.

Unofficial Site
Plan Review for
North Ridge
Estate Condos

Administrative plan approvals were presented to the commission. There were no questions.

Administrative
approvals

Moyer-Cale reported that the JPA discussed driveways on M-37 and the future Meijer at their meeting. The JPC did not meet.

Old Business
JPA/JPC Update

No changes to the work task list were noted.

Work Task List

King reported that he has not received an updated site plan yet from Terry Dennison on the museum.

Tracking Terms
and Conditions

No public comment was received.

Public Comment

None.

Staff Comments

Lyke stated that the YMCA ribbon cutting for the new daycare will be on September 17.

**Commission
Comments**

It was MOVED by Tossava and SECONDED by Foster to adjourn the meeting. All members present voting yes; motion carried. The meeting was adjourned at 9:06 p.m.

Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

CITY OF HASTINGS
PLANNING COMMISSION SPECIAL MEETING MINUTES
September 26, 2025

The meeting was called to order at 3:00 p.m. by Vice Chairperson Lyke with the following Commissioners present: Levi Bolthouse, Scott Darling, Nichole Lyke, Bill Mattson, Jacquie McLean, Sarah Moyer-Cale, and Dave Tossava. Student member Meredith Ansorge was also present.
Absent: Chelsey Foster, David Hatfield

Call to Order

Also present: Planning Consultant Rebecca Harvey.

It was MOVED by McLean and SECONDED by Mattson to approve the agenda as presented. All members present voting yes; motion carried.

**Approval of the
Agenda**

Chairperson Lyke opened the public hearing at 3:01 P.M. Harvey provided comments regarding the application and noted no changes were made from the preliminary site plan. The amendment includes reorientation and sizing of buildings and a change in use to childcare. Greg Taylor provided comments for the application. No public comment was received. The public hearing was closed at 3:04 P.M.

Public Hearing:
420 E Mill PUD
and Final Site
Plan

Discussion was held by the Planning Commission. It was MOVED by McLean and SECONDED by Darling to recommend that the City Council approve the final site plan and adopt Ordinance 632 as presented.

Roll call:

Voting Yes: Bolthouse, Darling, Lyke, Mattson, McLean, Moyer-Cale, Tossava

Voting No: none

Absent: Hatfield, Foster

Motion carried.

No public comment was received.

Public Comment

It was MOVED by McLean and SECONDED by Bolthouse to adjourn the meeting. All members present voting yes; motion carried. The meeting was adjourned at 3:07 p.m.

Adjournment

Respectfully submitted,

Sarah Moyer-Cale,
Secretary

City of Hastings

NOTICE OF PUBLIC HEARING ON AMENDING CHAPTER 90, ARTICLE VI, BY ADDING DIVISION 90-VI-18

The Planning Commission will hold a Public Hearing for the purpose of hearing written and/or oral comments from the public concerning amending Chapter 90, Article 90-VI by adding Division 90-VI - 18 - 3-4 Family Overlay District. The public hearing will be held **on Monday October 6, 2025, at 7:00 PM** in the Council Chambers on the second floor of City Hall, 201 East State Street, Hastings, Michigan 49058.

All interested citizens are encouraged to attend and to submit comments.

Please contact Dan King, Community Development Director, at dking@hastingsmi.gov or 269-945-2468 if you have questions or comments regarding this public hearing.

A copy of this information is available for public inspection from 9:00 AM to 4:00 PM Monday through Friday at the Office of the City Clerk, 201 East State Street, Hastings, Michigan 49058.

The City will provide necessary aids and services to individuals with disabilities upon five days' notice to the Clerk of the City of Hastings. Individuals requiring these services should contact the City of Hastings at 269-945-2468, or via email at mpeacock@hastingsmi.gov.

Linda Perin
City Clerk

Please publish in the September 18, 2025, edition of the
Hastings Banner.

Received by _____ on _____
as representative of the Hastings Banner.



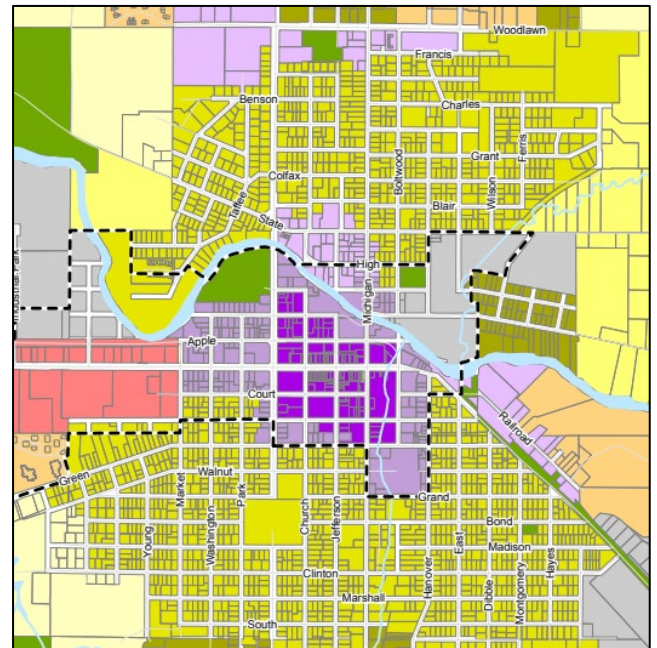
January 28, 2025

Subject: Housing Committee - Three- and Four-Family Dwellings

3-4 FAMILY DWELLING OVERLAY DISTRICT – Draft #5

Purpose

- A. The 3-4 Family Dwelling Overlay District is designed to be considered generally for application to those lands identified by the City of Hastings Master Plan *Future Land Use Map* as *Residential Growth C – Multiple Family; Core Neighborhood; Neighborhood Center; or Downtown Edge*.
- B. This District is intended to recognize the usefulness of ‘gentle density’ housing near employment areas such as the downtown but also encourages the preservation of single-family homes near the center of the City.
- C. This District further recognizes that there are older, large homes near the downtown that have already been divided into two or more dwelling units and require careful review of further divisions to ensure the character of the area is maintained.
- D. This District is designed to provide for *Missing Middle* housing opportunities, allowing attached single-family housing and smaller, multi-dwelling buildings consistent with the overall density of the surrounding area.



- Residential Growth C - Multiple-Family
- Core Neighborhood
- Neighborhood Center
- Downtown Edge

- E. This District should not be applied where resulting overall density of the block will exceed 6 dwelling units per acre.

For purposes of this Overlay District, 'block' is defined as *'the space for buildings within the street pattern of the City, where a street extends through the middle with lots fronting on either side, bounded by streets on both ends.'* The Planning Commission shall determine the boundaries of the block in consideration of this definition.

Avg size of city block in Hastings

- 330 ft x 335 ft (~2.5 A)



- *Density Scenarios:*

10 lots (SF)

= 4 d.u./acre

8 lots (SF)

1 lot (2F)

1 lot (4F)

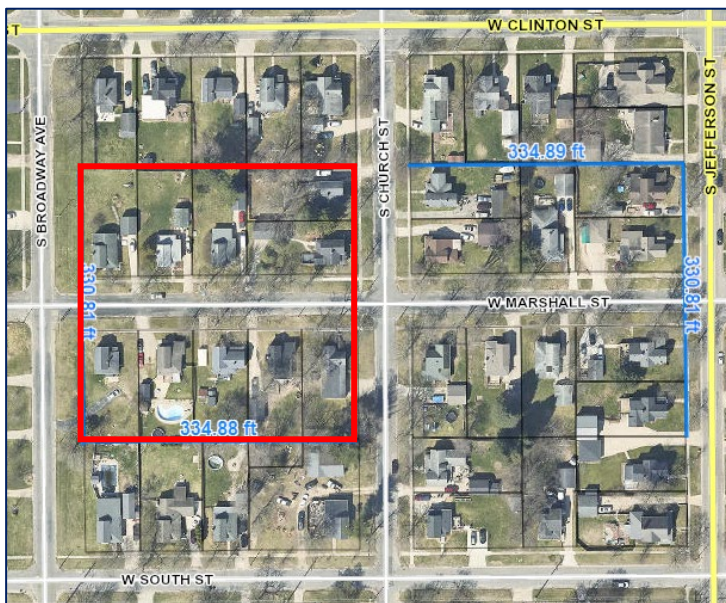
= 5.6 d.u./acre

8 lots (SF)

1 lot (3F)

1 lot (4F)

= 6 units/acre



Applicability

- A. The 3-4 Family Dwelling Overlay District shall be an overlay district that applies over existing zoning districts. Use and development of land within the overlay district shall be regulated as follows:
 - 1. Any existing lawfully conforming use shall be permitted to continue, and the use shall be subject to the requirements of the underlying district and not the requirements of the 3-4 Family Dwelling Overlay District.
 - 2. Any new use may elect to develop pursuant to either the underlying district or the 3-4 Family Dwelling Overlay District.

Permitted Uses

- A. Three- and four-family dwellings.
- B. Attached single-family dwellings, with no more than four (4) attached dwelling units.



District Regulations

Property within the 3-4 Family Dwelling Overlay District shall be subject to the regulations set forth in Sec 90-216 of this Ordinance for the R-D District related to lot size/width, lot coverage, and yard setbacks.

(The following table is included here for reference only)

Minimum Lot Size	9900 sq ft
Minimum Lot Width	75 ft



Maximum Lot Coverage	30%
Maximum/Minimum Front Yard Setback	30 ft
Minimum Side Yard Setback	25/10 ft
Minimum Rear Yard Setback	25 ft
Maximum Building Height	35 ft
Minimum Floor Area	720 sq ft per dwelling unit

Building Form Standards

New buildings, building expansions, and/or exterior building renovations within the 3-4 Family Dwelling Overlay District shall be subject to the following building form standards.

Architectural Style	Buildings shall have an architectural style respecting the scale, proportion, character, and materials of nearby existing buildings. Building mass shall be de-emphasized in a variety of ways, including the use of projecting and recessed sections to reduce the apparent overall bulk and volume and provide visual appeal.
Exterior Building Materials	Exterior wall materials may consist of brick, stucco, wood, vinyl aggregate or split-face block, stone or similar decorative material which is similar to the exteriors of nearby buildings. Metal-sided buildings, including accessory buildings, may be acceptable provided the appearance of such buildings is compatible with the style and materials of nearby existing buildings.
Roofs	Roofs shall be pitched and have overhanging eaves. Materials for pitched roofs shall include shingles (either wood or asphalt composition), slate, or tiles. Metal roofing may be acceptable provided the appearance of the roofing is compatible




	with the roofing of nearby existing buildings.
Building Entrance	<p><i>3-4 Family Dwelling</i> - An entrance to the building shall be visible from and face the street from which the address of the building is derived.</p> <p><i>Attached Single-Family Dwelling</i> - The primary entrance to each dwelling unit shall be visible from and face the street from which the address of the dwelling unit is derived.</p>
Minimum Front Porch Area (if provided)	70 sq ft; enclosed porches are allowed

Site Design Standards

- A. *Vehicle Access*: Vehicle access to the property shall be determined during the site plan review process. An existing driveway(s) may be required to be closed in order to achieve safe access.
- B. *Parking*: Off-street parking in the 3-4 Family Dwelling Overlay District shall be regulated by Article X of this Ordinance, except 1) the garage/carport requirement of Section 90-924 shall not apply, and 2) the Planning Commission may reduce the parking requirements by no more than 30 percent if it can be demonstrated that the required number of parking spaces is not needed. The Commission may take into consideration the location and availability of authorized off-site parking arrangements, such as on-street parking spaces or municipal parking lots located within 300 feet of the proposed building. Parking on site must be located behind the principal building and be designed so vehicles do not back into the public street when exiting the site.
- C. *Pedestrian Access*: A walkway shall be provided from the existing or proposed sidewalk along the property frontage to the primary building entrance.
- D. *Refuse Disposal*: Dumpsters shall be kept within a fenced or brick walled area which shall be at least 6 feet high and located so that their use, including emptying, does not pose a nuisance to nearby neighbors.



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- E. *Landscaping*: Landscaping shall be provided in accordance with the requirements of Article XII. Shade trees shall be emphasized to provide shade and continuity in landscape design within the neighborhood.

Modification of Standards

The Building Form and Site Design Standards of this District may be modified by the Planning Commission upon determination that:

- A. The modification shall satisfy the purposes of the Overlay District stated in subsection ____.
- B. The modification will result in the alteration of an existing building or the construction of a new building, which is visually compatible and comparable with nearby existing buildings and which maintains or improves upon the character of the surrounding neighborhood through the use of similar building materials or site design.

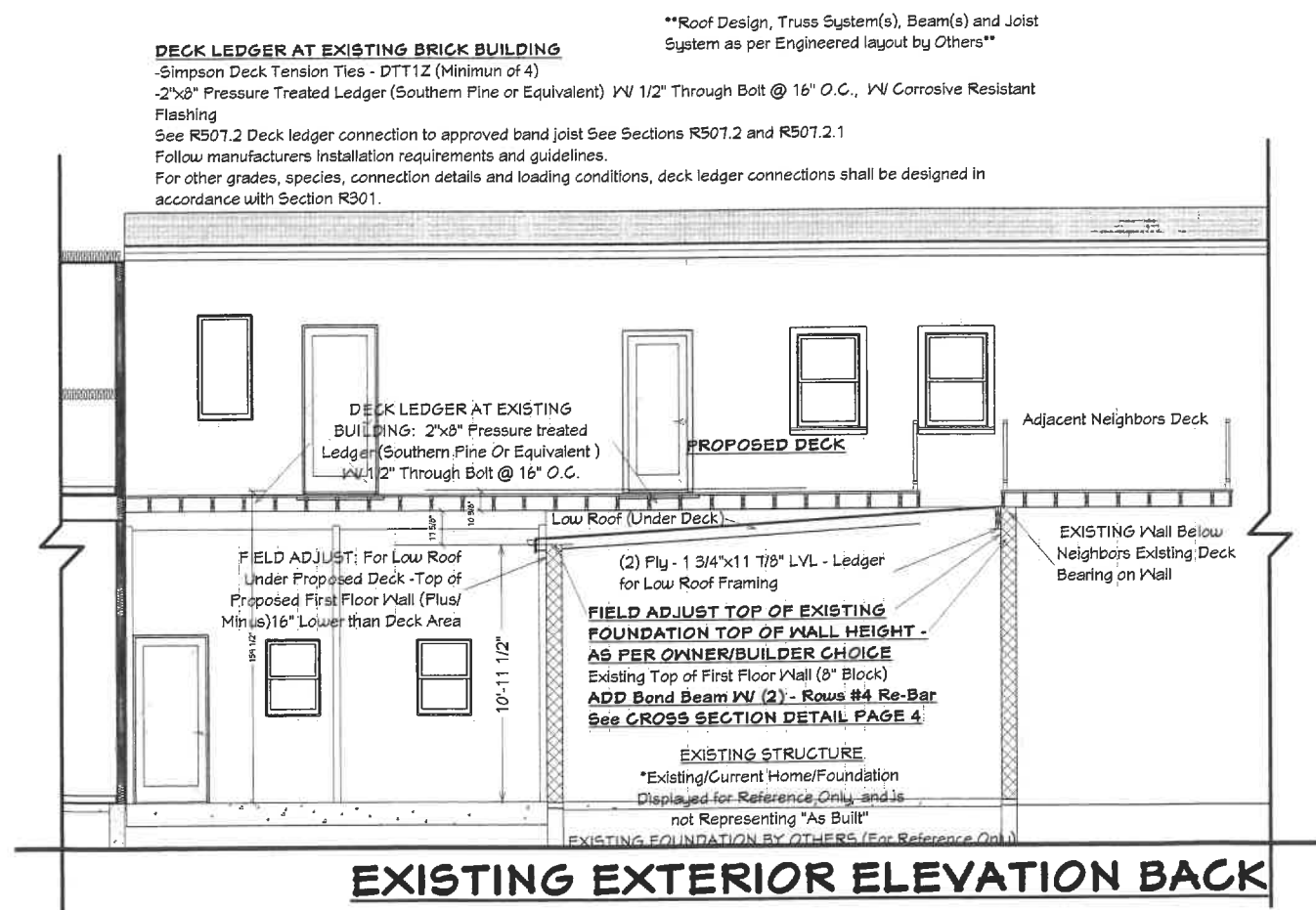
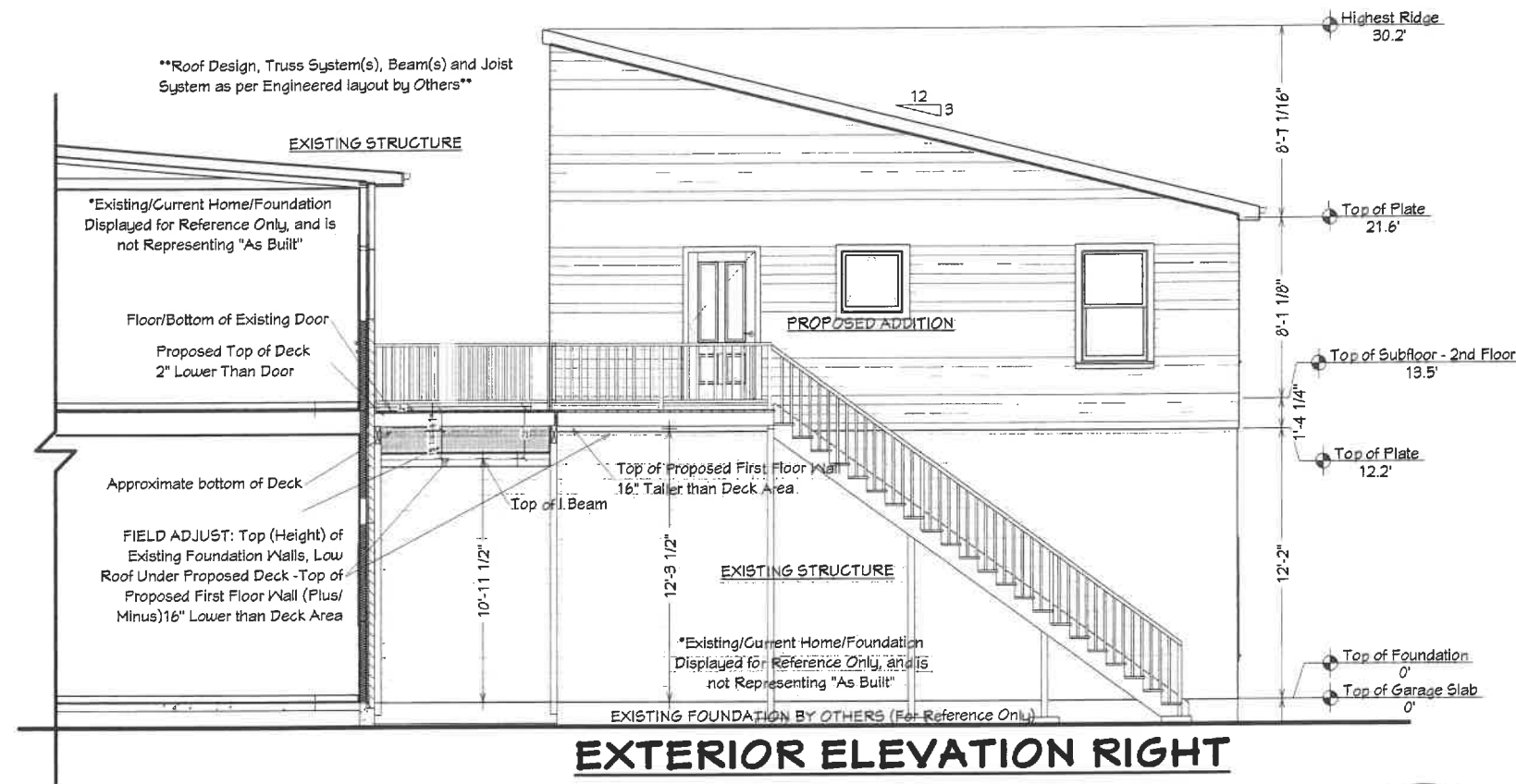
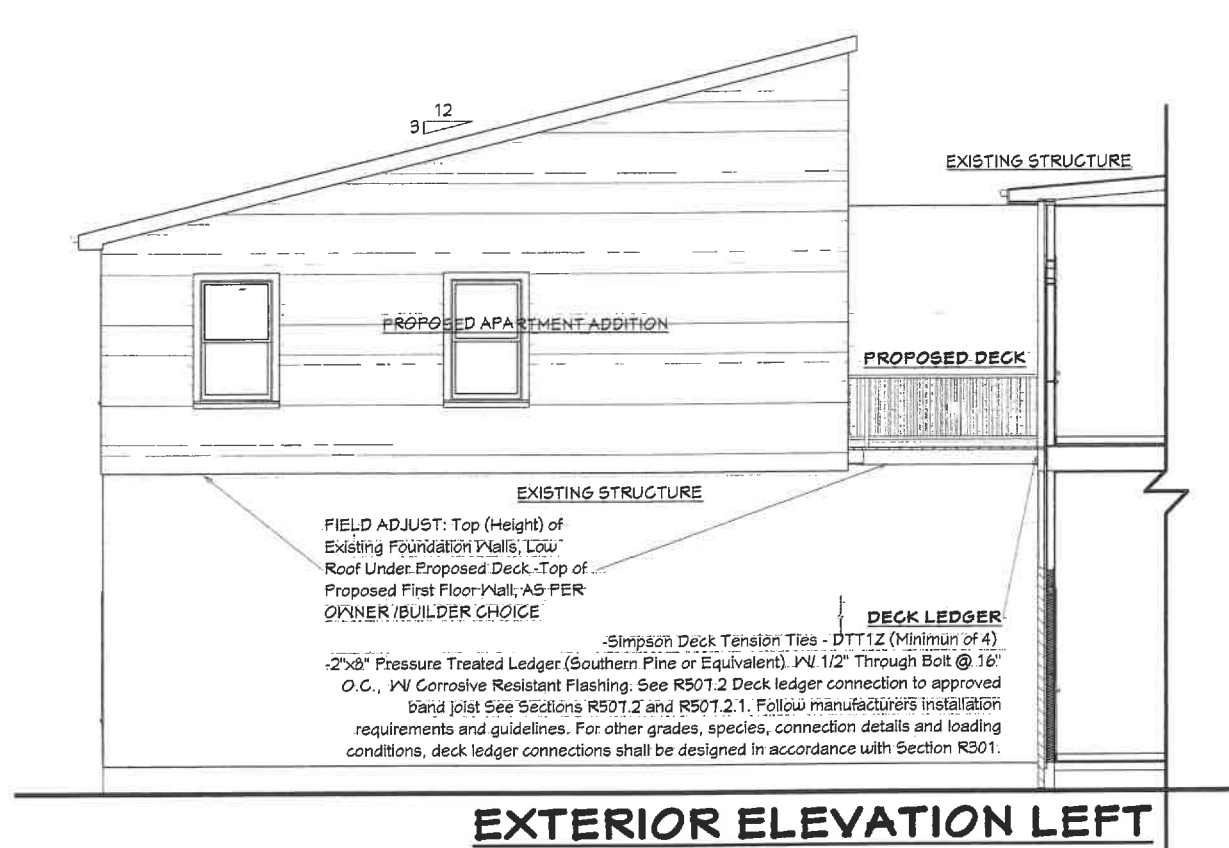
Additional Regulations

- A. Site plan review as regulated by Article IV of this chapter is required, except as modified by this Section.
- B. Site plan review by the Planning Commission is required for 1) new construction, and/or 2) the expansion of an existing building.
- C. Site plan review by the Zoning Administrator is required for 1) a change in the use (increase in density) of an existing building that does not involve an expansion of the building, and/or 2) exterior building renovations.
- D. Each site plan submitted for official review under this Article shall meet the site plan content requirements of Sec 90-130, except as modified by the Planning Commission or Zoning Administrator.
- E. Where exterior building renovations are proposed, the site plan submittal shall include building elevations or sketches showing the proposed changes to the building exterior.





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an Residential Code - Local and State building codes are to be followed when erecting a new building, remodeling, or placing an addition or deck on a new or existing residential home or garage.

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R312 2.1 - Windows must comply with code. Tempered glass must be used in all areas 24" above finished floor where the exterior grade is 72" or greater, ***whether indicated on this drawing or not. ***

SCOPE OF DRAWING

***The Scope of this Drawing does not include all Existing and Proposed Structural Elements. Existing Structural Elements are for reference only and are not to be considered "AS BUILT". Roof Design, Truss System(s), Beam(s), Joist System, Footings, Piers, and Foundation as per Engineered layout by Others.

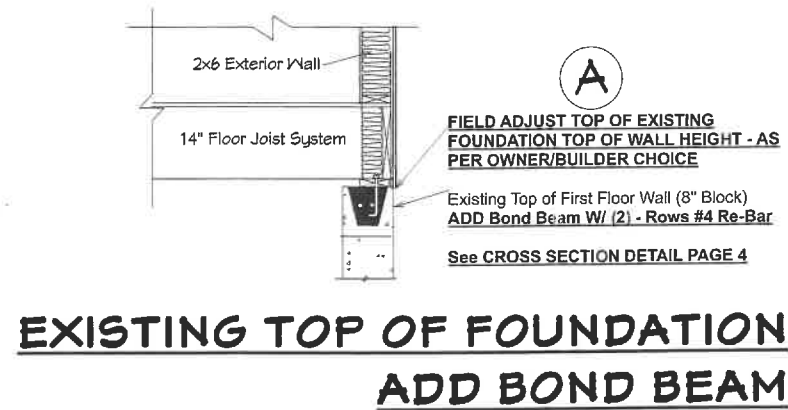
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***Remodeling Existing structure may require structural elements that are not presented on this Drawing. Walls considered for demolition may be "Bearing" walls and needed for Roof and (or)

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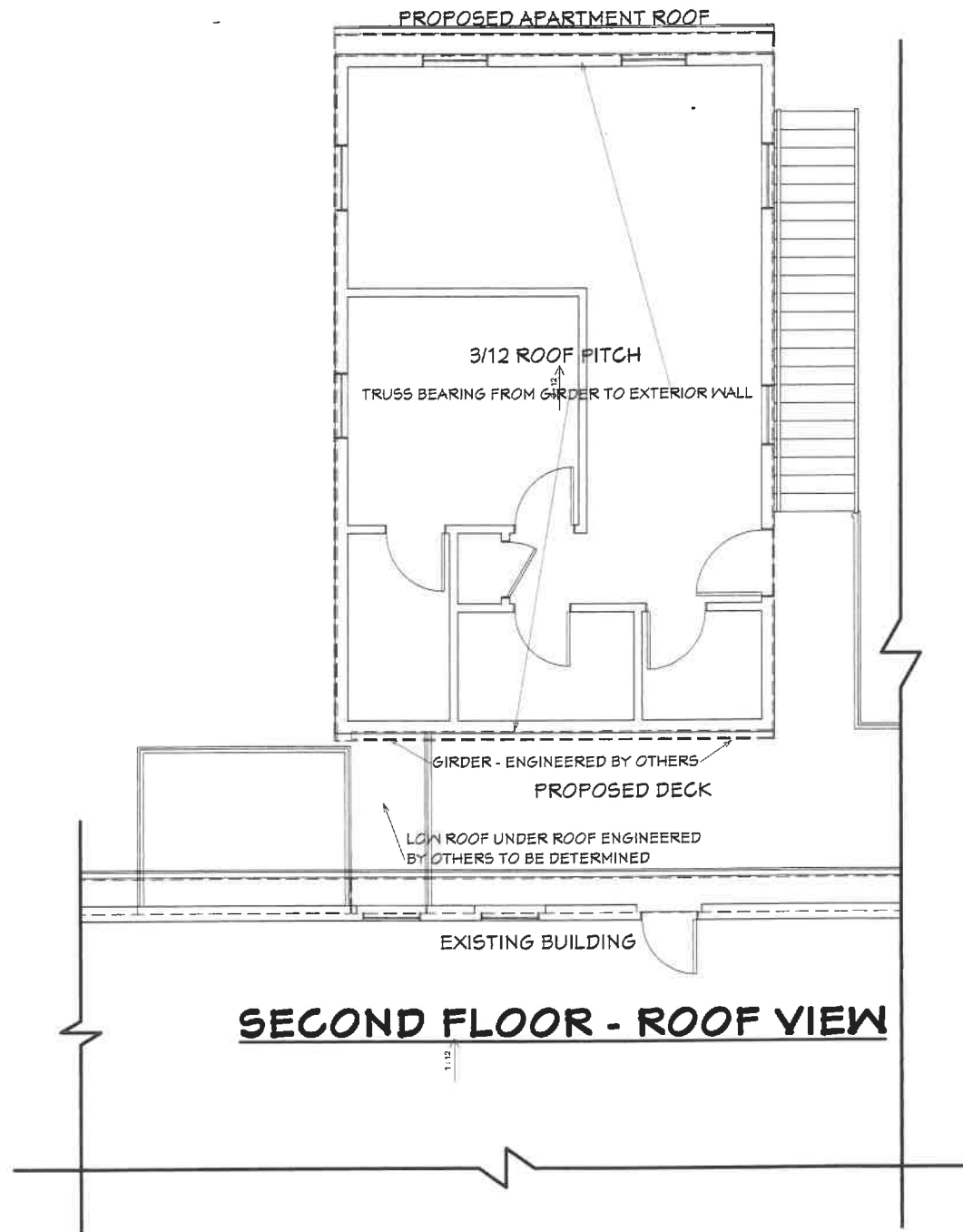
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Deck Construction Notes:

POSTS
-All 4x4 or 4x4 Pressure Treated Posts to have Simpson Post Base
-Deck Post to Deck Beam - Post Cap (See R501.1.1)

POST PADS
-All post pad 8"x16" Concrete 3,000 lb or greater
-42" (Min. Frost) W 2 - #4 Re-Bar

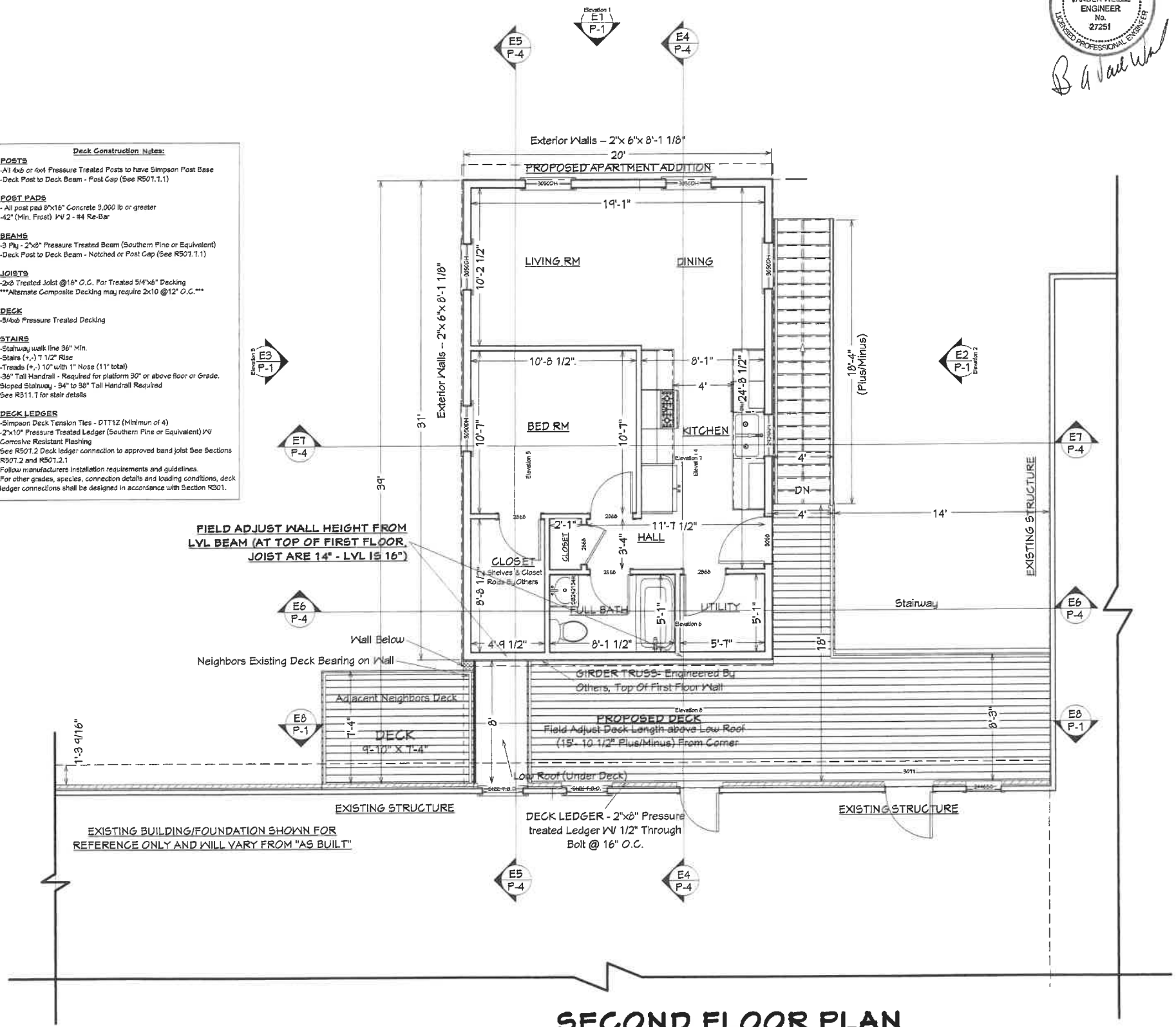
BEAMS
-3 Ply - 2"x8" Pressure Treated Beam (Southern Pine or Equivalent)
-Deck Post to Deck Beam - Notched or Post Cap (See R501.1.1)

JOISTS
-2x8 Treated Joist @ 16" O.C. For Treated 5/4"x6" Decking
Alternate Composite Decking may require 2x10 @ 12" O.C.

DECK
-5/4x6 Pressure Treated Decking

STAIRS
-Stairway walk line 36" Min.
-Stairs (+/-) 7 1/2" Rise
-Treads (+/-) 10" with 1" Nose (11" total)
-36" Tall Handrail - Required for platform 30" or above floor or Grade.
Sloped Stairway - 34" to 36" Tall Handrail Required
See R311.1 for stair details

DECK LEDGER
-Simpson Deck Tension Ties - DTT12 (Minimum of 4)
-2"x10" Pressure Treated Ledger (Southern Pine or Equivalent) W
Corrosive Resistant Flashing
See R501.2 Deck ledger connection to approved band joist See Sections
R501.2 and R501.2.1
Follow manufacturers installation requirements and guidelines.
For other grades, species, connection details and loading conditions, deck
ledger connections shall be designed in accordance with Section R301.



SECOND FLOOR PLAN
(Proposed Apartment & Deck Addition)

an Residential Code - Local and State building codes are to be followed when erecting a new building, remodeling, or placing an addition or deck on a new or existing residential home or garage.

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R312.2.1 - Windows must comply with code. Tempered glass must be used in all areas 24" above finished floor where the exterior grade is 72" or greater, ***whether indicated on this drawing or not. ***
R316 - Foam Plastic compliance. Foam Plastic must be covered by 1/2" or equivalent thermal barrier from the interior of the building, unless otherwise allowed in Section R316.5.

SCOPE OF DRAWING

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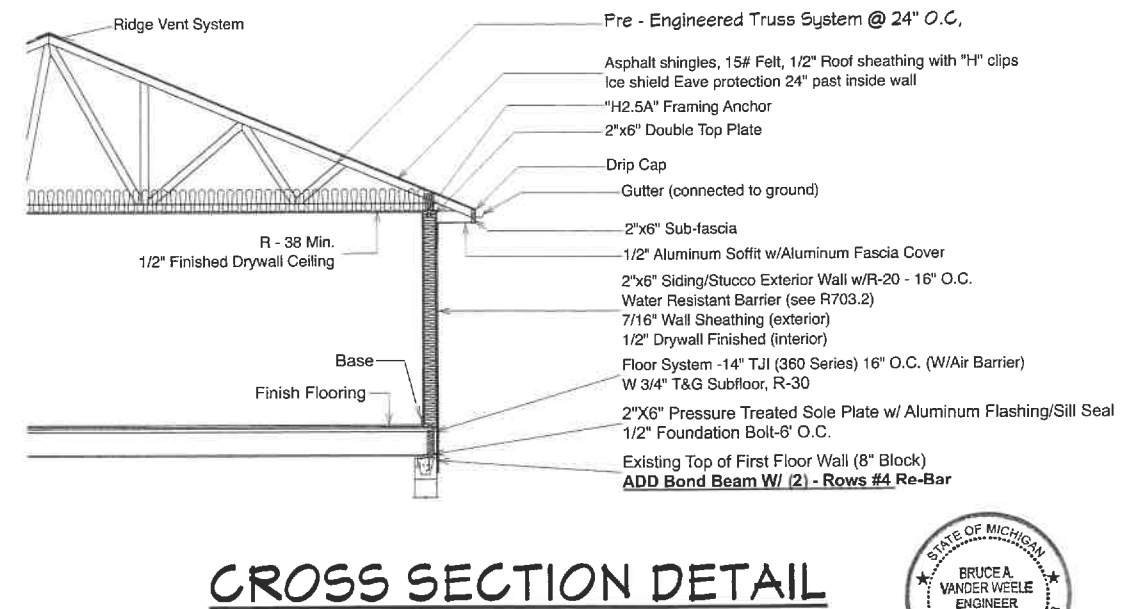
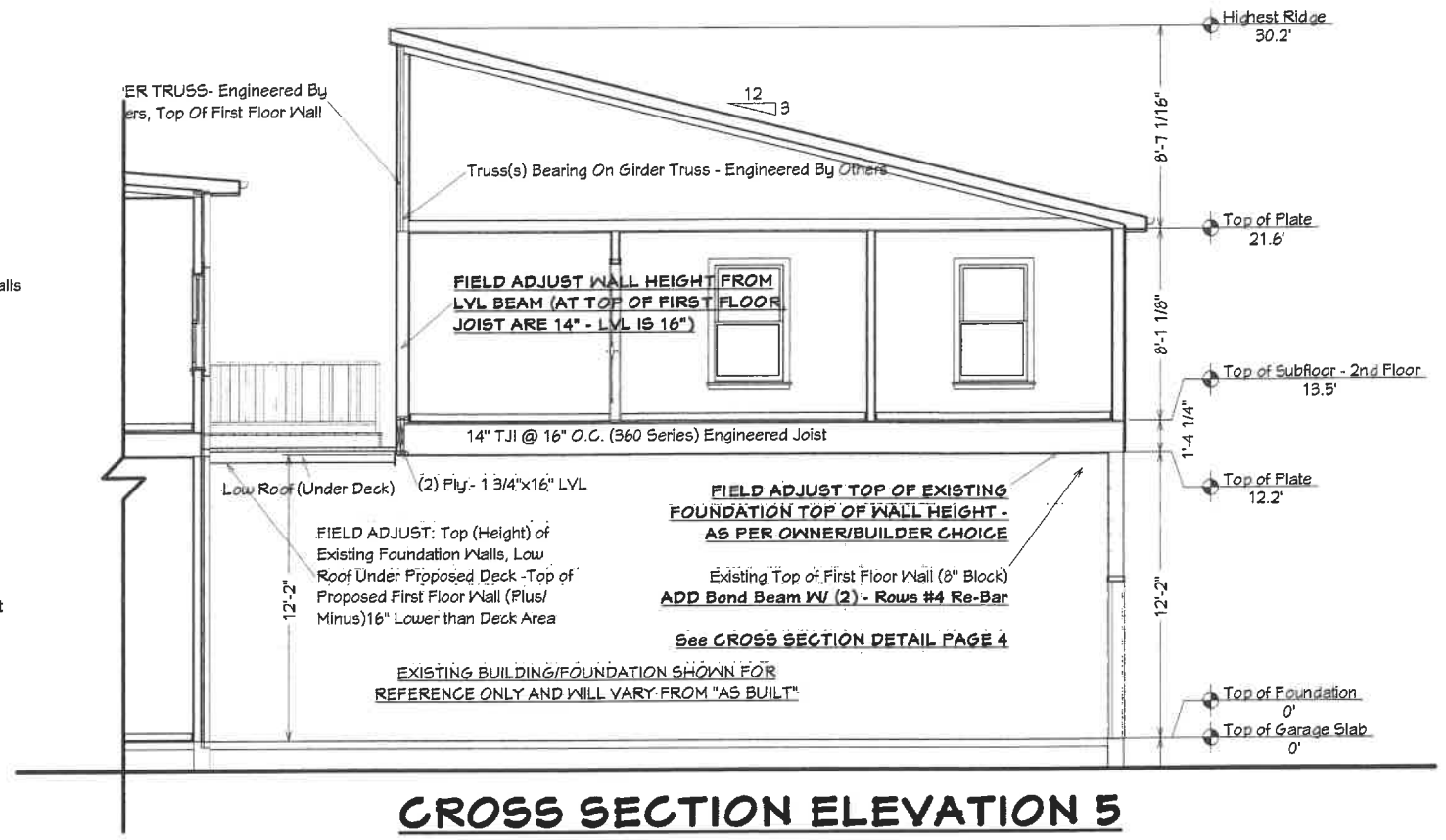
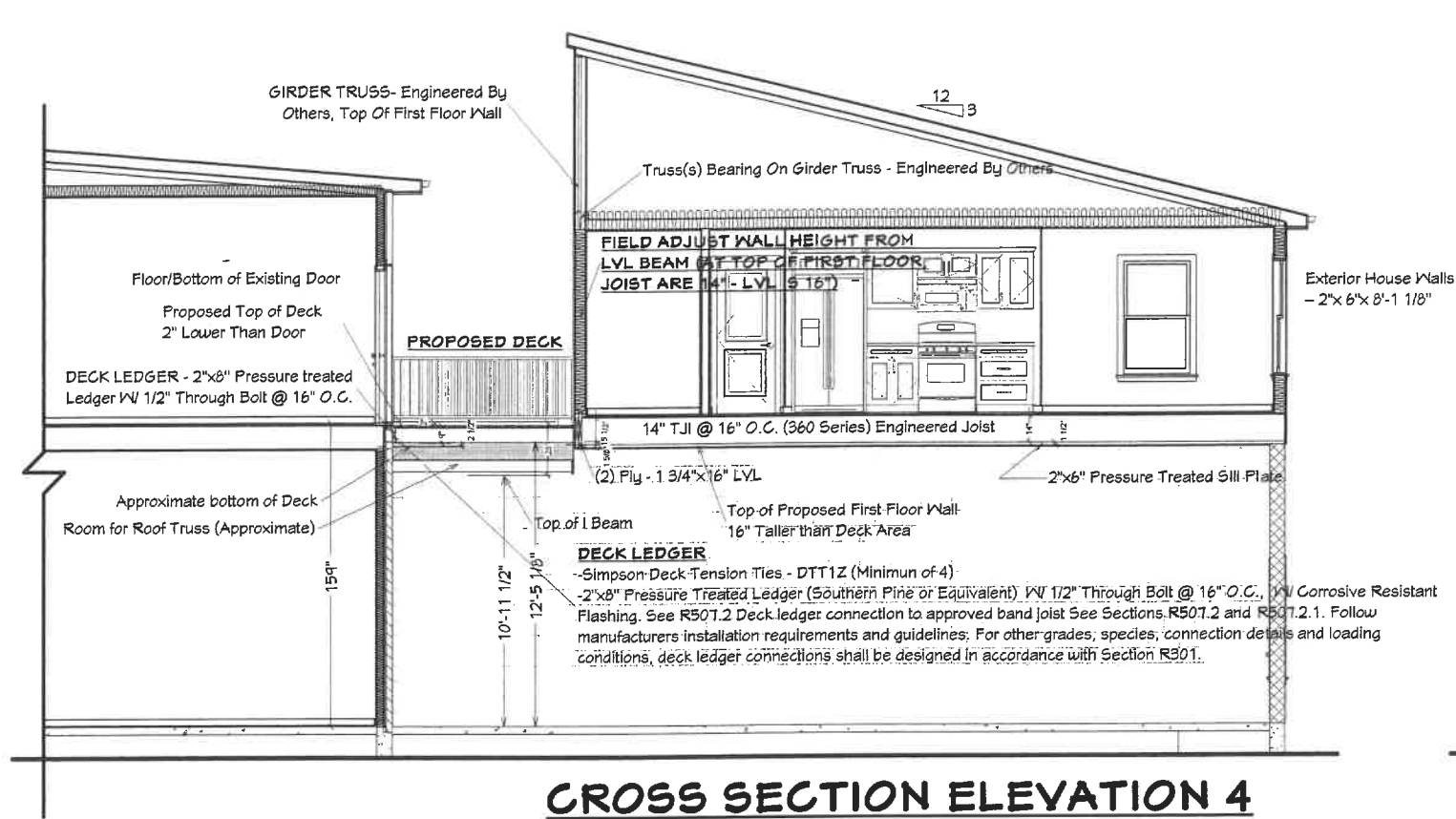
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PRIOR TO THE START OF CONSTRUCTION***

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DRAWINGS PROVIDED FOR:

DRAWINGS PROVIDED BY:



City of *Hastings* Michigan

(269) 945-2468
FAX (269) 948-9544

201 E. State Street 49058

September 11, 2025

Re: Meadowstone Apartments III LLC 712-720 Barfield Drive, Hastings, Michigan 49058
PP # 08-55-250-016-55

This letter is in response to the plans provided by Exxel Engineering to permanently block, with flexible or solid bollards, one (1) parking space to the southeast of Building "E" for fire hydrant access. Fire hydrant to be repositioned with an east/west orientation and elevate hydrant flange to above grade.

Per Chapter 90, Article 90-VII, Division 90-VII-2, Section 90-674 (a) of the Municipal Code, minor changes to a PUD site plan may be approved administratively by the building inspector provided the changes comply with all applicable requirements of this chapter and all other city regulations or state law. Minor changes subject to administrative review include dimension changes, building relocation, parking and driveways, change in landscaping, signs, lighting, decrease in building size and increase in building size that does not exceed 5,000 square feet or five percent of the gross floor area, whichever is smaller.

Upon review of the site plan and site plan information, compliance with Section 90-674 (a) has been noted and can be approved administratively. The site plan submittal is approved, and you may now proceed to obtain the applicable building and electrical permits.

If you have any questions or concerns, please feel free to contact me.

Dan King
Community Development Director/Zoning Administrator
201 East State Street
Hastings, Michigan 49058
269-945-6001
dking@hastingsmi.gov

City of Hastings
Planning Commission
Work Tasks for 2025
STATUS REPORT FOR OCTOBER 2025

1. Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width.
2. Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan. **Planning Consultant Harvey to provide recommendation.**
3. Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2025.
4. Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
5. Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
6. Review landscape buffer requirements between multiple family zones and the B-1 district for waste of developable space. Master Plan action item.
7. Review Article 90-VII Planned Unit Development for complete amendment consideration.
8. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements. **Refer to Housing Committee for discussion.**
9. Review text regarding multi-family dwellings for possible modification. Master Plan action item.

Items highlighted in **green** are currently under consideration by the Planning Commission.

Items highlighted in **yellow** are currently under consideration by the Housing Committee.

Items highlighted in **red** require no further action at this time.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowtone Mobile Home Park 1812 Lavender Drive Maintenance Building	1.13.22	1.13.22	1.13.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
City of Hastings and Barry County Central Dispatch 1037 East State Street	NA	3.27.23	5.1.23	Approved	Administrative approval of performance standards. Waiver of side setback requirement	
420 E Mill Street PUD	5.30.23	5.31.23	7.3.23	Approved	24.5 units/acre 40 ft building height 5 feet front setback 30 ft building separation Delineation of phased development Lighting, landscaping, building exterior to be approved administratively. Acceptance of parking lot/100 yr FP DPS and Fire approval.	
Meadowstone Apartments III 710 Barfield Drive	6.12.23	6.12.23	8.7.23	Approved	Exterior finish subject to administrative approval. Utility and storm management subject to approval by DPS Director	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Chad Stora 1000 Enterprise Drive	7.12.24	7.12.24	8.5.24	Approved	Zoning Administrator review of uses. Compliance with refuse screening.	
Zach Santmier 128 S. Jefferson	9.16.24	9.16.24	10.7.24	Approved	The height of the first-floor windows approved to be 48" to 52" above the sidewalk with slightly tinted window	
Woodlawn Meadows Retirement Village II 1813 N. East Street	9.17.24	9.17.24	11.04.24	Approved	<p>The modified lot sizes (7,700 sq ft - 18,000 sq ft) and lot widths (56-66 ft) are approved as proposed and the ordinance authorizing the proposed PUD will list the modified requirements</p> <p>The zoning notes of the Final Development Plan will reflect the R-1 lot width requirements</p> <p>The 25-foot front, and 25-ft rear, and 15/6 foot side setbacks are approved as proposed and the ordinance for the proposed PUD will list the modified requirements</p> <p>Proposed extension of East Street as private road with 28 feet width and rolled curb. Stormwater management plan, utility system, and private street extension approved by City</p> <p>Master Deed and PUD conform to S/C</p>	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plans and prints to staff	PC Agenda Date	PC Decision	Conditions for Completion	COI
Bacman Fields 900 Bachman Road	2.11.25	2.11.25		4.7.25	Several. See draft ordinance	
Terry Dennison 220 W. Colfax	4.9.25	4.9.25	5.5.25	5.5.25	Proposed plan for refuse disposal Lighting plan Landscape plan	
Broadmoor Motors 1504 S Hanover	8.11.25	8.11.25	9.2.25	9.2.25	Lighting Plan Landscaping plan Parking Space and Locations	